

Bay Colony Group, Inc.

Professional Civil Engineers & Land Surveyors

4 School Street, PO Box 9136
Foxborough, Massachusetts 02035
Telephone (508) 543-3939 • Fax (508) 543-8866
E-mail: mailbox@baycolonygroup.com

August 10, 2020

Mr. Robert W. Boette, Chairman
Foxborough Conservation Commission
40 South Street
Foxboro, MA 02035

**RE: 79 Ridge Road
Foxborough, MA**

Dear Mr. Boette,

On behalf of our client, Suzanne Walker, we are submitting herewith a Request for Determination of Applicability pursuant to Chapter 131, S.40, Wetlands Protection Act and Chapter 267 Foxborough Wetlands Protection Bylaw for the repair of a failed septic system at 79 Ridge Road Foxborough, MA. Enclosed please find 8 copies of the WPA Form 1 – Request for Determination of Applicability (RFDA), which includes the sewage disposal system design plan and a check in the amount of \$75 for the Town fee.

The property is an existing 2-bedroom home on a 9,731+/- sf lot located on the north side of Ridge Road about 0.7 miles north of where it intersects Chestnut Street. The existing system consists of a septic tank and distribution box located north of the existing house approximately 30' from the bank of the Neponset Reservoir. The property slopes from Ridge Road down to the Neponset Reservoir, the elevation of Ridge Road is about 279' and the elevation of the water is at 268.2' recorded on August 5, 2020. The lot contains a shared driveway with 81 Ridge Road and a shed.

The proposed work consists of pumping, crushing and filling the existing septic tank and then constructing a new system in accordance with the State Sanitary Code. The new system will consist of a 1,500 gallon septic tank that will come out of the west side of the house. The tank will be about 40' from the bank of the Neponset Reservoir. The septic tank will then gravity feed into a 1,000 gallon pump chamber. The leaching system will consist of 24 Quick-4 high capacity leaching chambers installed in the front yard and they will be about 134' from the water surface. Erosion control will be installed prior to the start of construction and will consist of a 12" silt sock, which will remain until the system is completed. Due to the small size of the lot and the location of the bank, three

waivers were granted by the Foxborough Board of Health as a condition of approval of the design. One of the restrictions is that, because the site is a two-bedroom home and lies within the Zone 2 of a Water Resource Protection District, a deed restriction limiting the site to no more than 2 bedrooms will be recorded in the Registry of Deeds prior to the Board of Health's issuance of a Certificate of Compliance.

We expect to start construction of the system shortly after all approvals are granted and to complete construction within 2 weeks of start of work, weather permitting.

Thank you for your consideration and please feel free to contact me should you have any questions or concerns that you would like us to address prior to the public hearing.

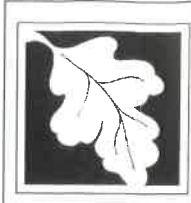
Very truly yours,

BAY COLONY GROUP, INC.

A handwritten signature in black ink, appearing to read "W. Buckley, Jr.", written in a cursive style.

William R. Buckley, Jr., P.E.
Project Manager

encl.



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Foxborough Wetlands Protection Bylaw, Chapter 267



A. General Information

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant or **Property Owner's Representative:**

Bay Colony Group, Inc.

Name / Firm

4 School Street

Mailing Address

Foxborough

City/Town

508.543.3939

Phone Number

William Buckley, Jr.

Representative Name (if applicable)

MA

State

02035

Zip Code

billbuckley@baycolonygroup.com

Email Address

2. **Property Owner** (if different from Applicant):

Suzanne Walker

Name

79 Ridge Road

Mailing Address

Foxborough

City/Town

sdcwalker@verizon.net

E-Mail Address / Phone Number

MA

State

02035

Zip Code

3. **Foxborough Wetlands Protection Bylaw filing fee** enclosed:

Single Family House: \$75 Industrial / Other: \$200 Habitat Restoration / Scout Project: \$0

B. Determinations

1. I request that Foxborough Conservation Commission make the following determination(s).

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to the jurisdiction of the State Wetlands Protection Act.
- b. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- c. whether the **area and/or work** depicted on plan(s) referenced below is subject to the jurisdiction of the Foxborough Wetlands Protection Bylaw.

C. Project Description

1. a. **Project Location** (use maps and plans to identify the location of the area subject to this request):

79 Ridge Road

Street Address

Foxborough

Town

034

Assessors Map/Plat Number

014

Parcel/Lot Number

- b. **Area Description** (i.e. back yard, lawn, wooded area, conservation area, industrial, etc.):

An existing 9,731+/- sf parcel of land located on the north side of Ridge Road about 0.7 miles from the intersection with Chestnut Street

- c. **Plan and/or Map Reference**

(Hint: hand-draw your proposed project onto an Assessor's map, Google map or MassGIS aerial photo.)

Sewage Disposal System Design

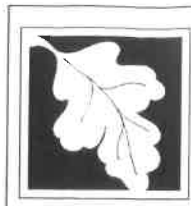
Title

8/10/2020

Date

Title

Date



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Foxborough Wetlands Protection Bylaw, Chapter 267



C. Project Description (continued)

2. a. **Detailed Description of Proposed Work**, shown in the above plans:

Replacement of a failed septic system with a new septic system constructed in accordance with the 310 CMR 15.00 State Sanitary Code (Title 5). The new system will consist of a 1,500 gallon septic tank, a 1,000 gallon pump chamber and Quick 4 Hi Capacity Leaching Chambers. The Septic tank will be about 40' from the Neponset Reservoir and the leaching chambers will be about 134' from the Neponset Reservoir

- b. Identify provisions (if any) of the MA Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work.

310 CMR 10.03(3)

3. a. **Riverfront Requirements** (if applicable)

If the proposed project is located within 200 feet of a river, indicate the one classification below that best describes the project:

For lots recorded on or before 8/1996:

- Single family house on a lot recorded on or before 8/1/96
- Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96

For lots recorded after 8/1/96:

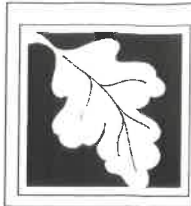
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96

Other Projects:

- Municipal project
- District, county, state, or federal government project
- Public project where funds were appropriated prior to 8/7/96
- Residential subdivision; institutional, industrial, or commercial project
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- New agriculture or aquaculture project
- Project required to evaluate off-site alternatives in more than one municipality for an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. ACOE or 401 Water Quality Certification from the MassDEP.

- b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting one of the classifications above (use additional paper and/or attach appropriate documents, if necessary).

Evidence:



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Foxborough Wetlands Protection Bylaw, Chapter 267



D. Signatures and Submittal Requirements

Name and Address of Property Owner:

Suzanne Walker

Name

79 Ridge Road

Mailing Address

Foxborough

City/Town

MA

State

02035

Zip Code

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate MassDEP Regional Office (*see below*) were sent a complete copy of this Request (*including all appropriate documentation*) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

I also understand that notification of this Request will be placed in a local newspaper (*by the Conservation Office*) at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.


Signatures:



Signature of Applicant

Aug 13, 2020

Date

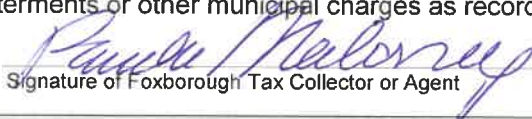


Signature of Representative (if any)

11 Aug. 2020

Date

Tax Collector's Release and Signature: The above referenced applicant is applying for a permit from the Conservation Commission and is in good standing with respect to any taxes, fees, assessments, betterments or other municipal charges as recorded with the Foxborough Treasurer's Office.



Signature of Foxborough Tax Collector or Agent

8/11/20

Date

Submittal Requirements:

For the Conservation Commission:

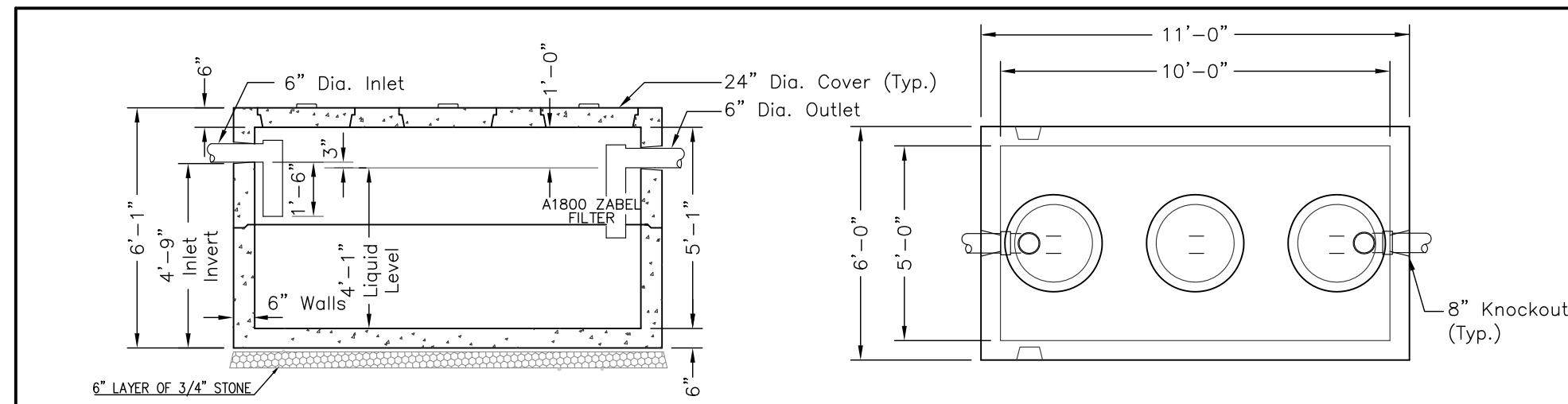
One (1) original and seven (7) copies of this completed Request (*including all plans, other documentation, and Town filing fee payment*), by mail or hand delivery to:

Foxborough Conservation Commission
40 South Street
Foxborough, MA 01035

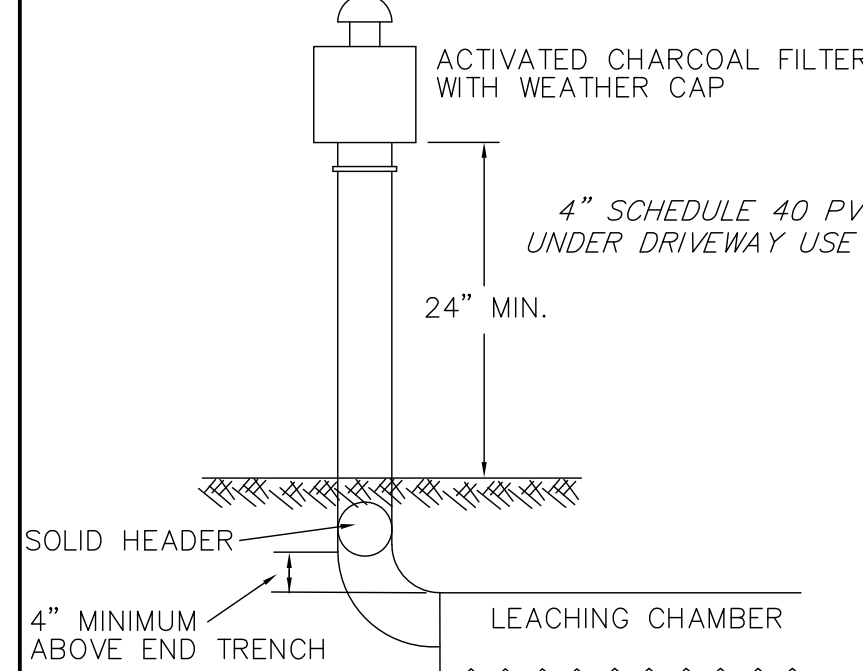
For MassDEP:

One (1) copy of the completed Request (*including all documentation; no State filing fee is required*) by certified mail or hand delivery to:

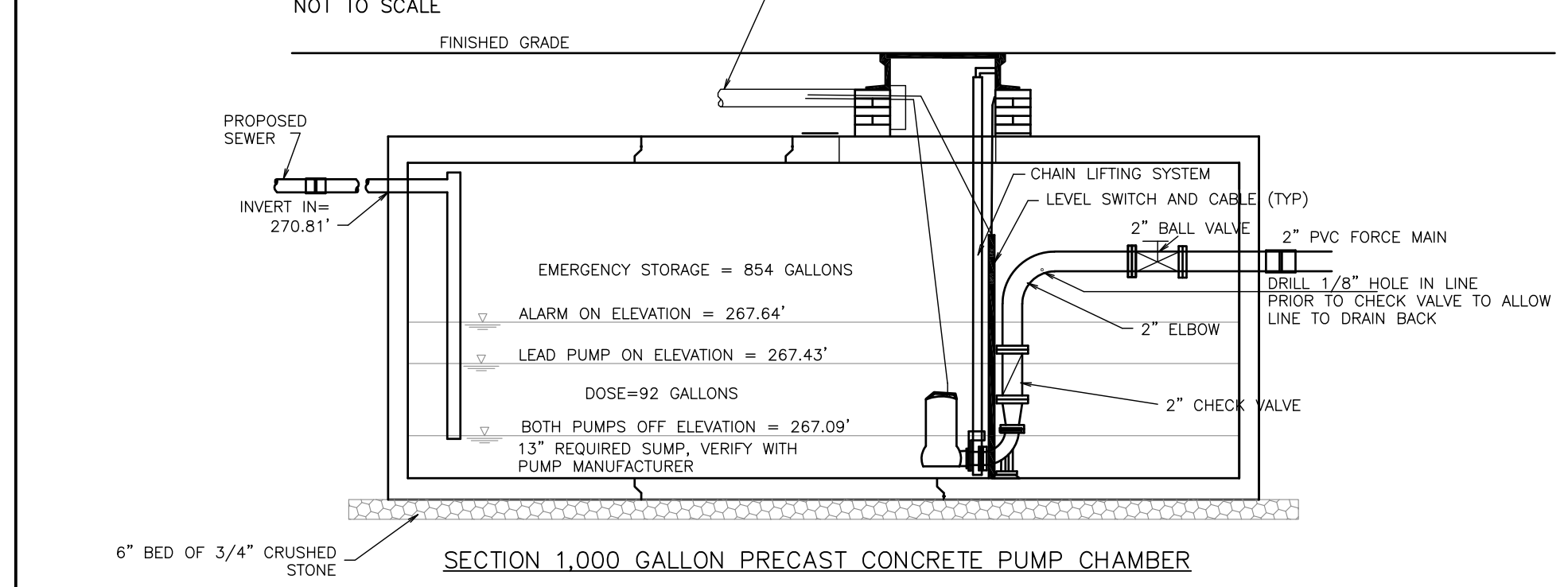
MassDEP, Southeast Regional Office
20 Riverside Drive
Lakeville, MA 02347



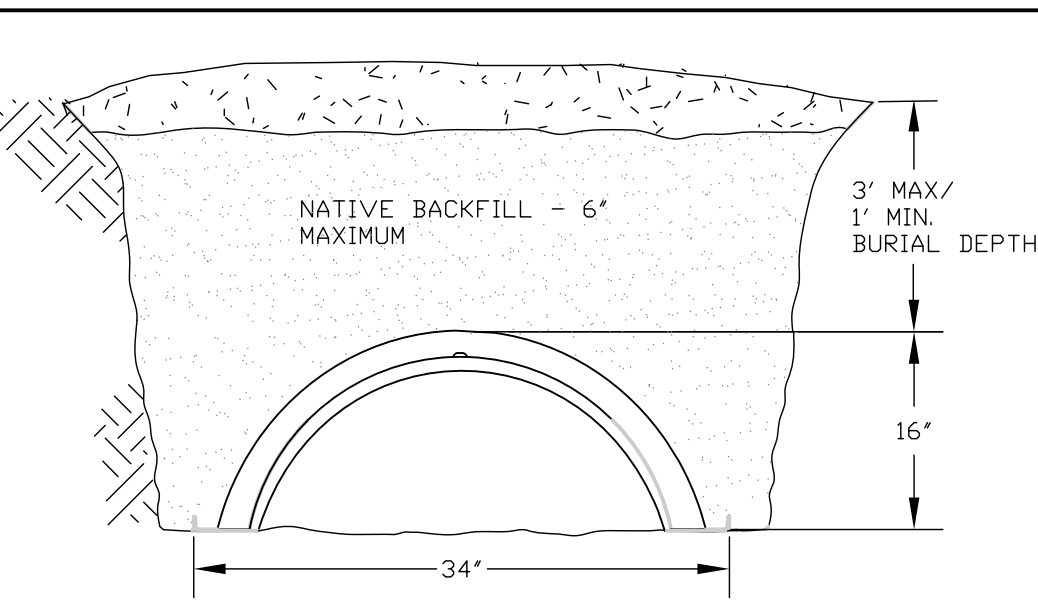
1,500 GALLON SEPTIC TANK
ROTONDO CST-1500 OR EQUIV



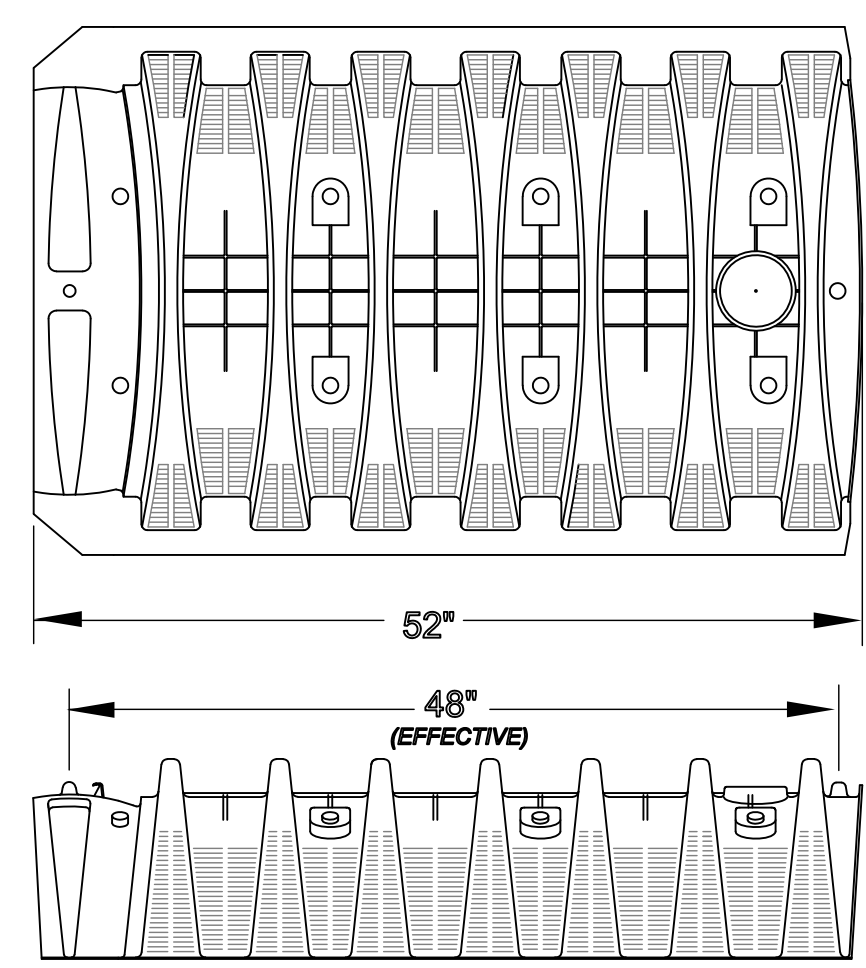
VENT DETAIL
NOT TO SCALE



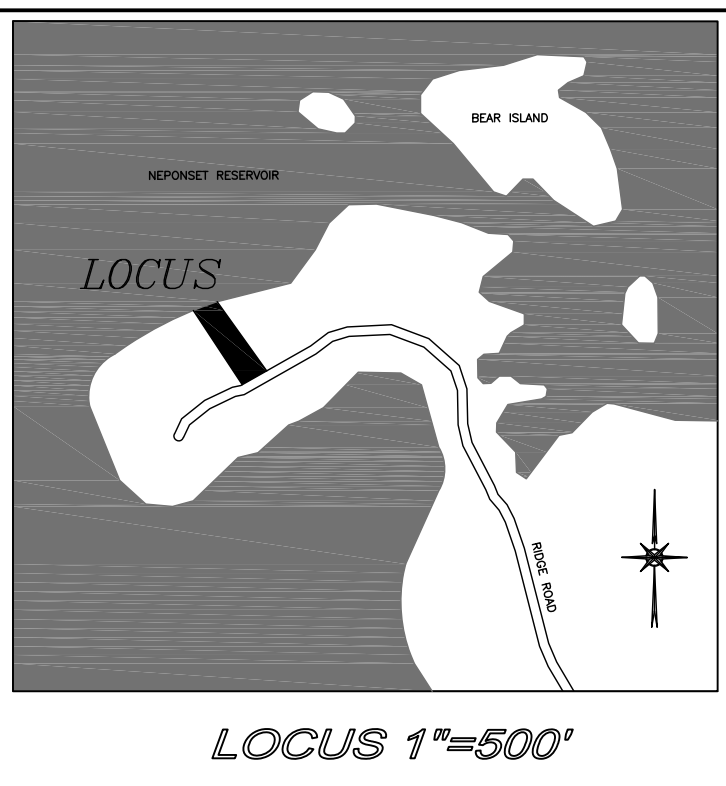
SECTION 1,000 GALLON PRECAST CONCRETE PUMP CHAMBER



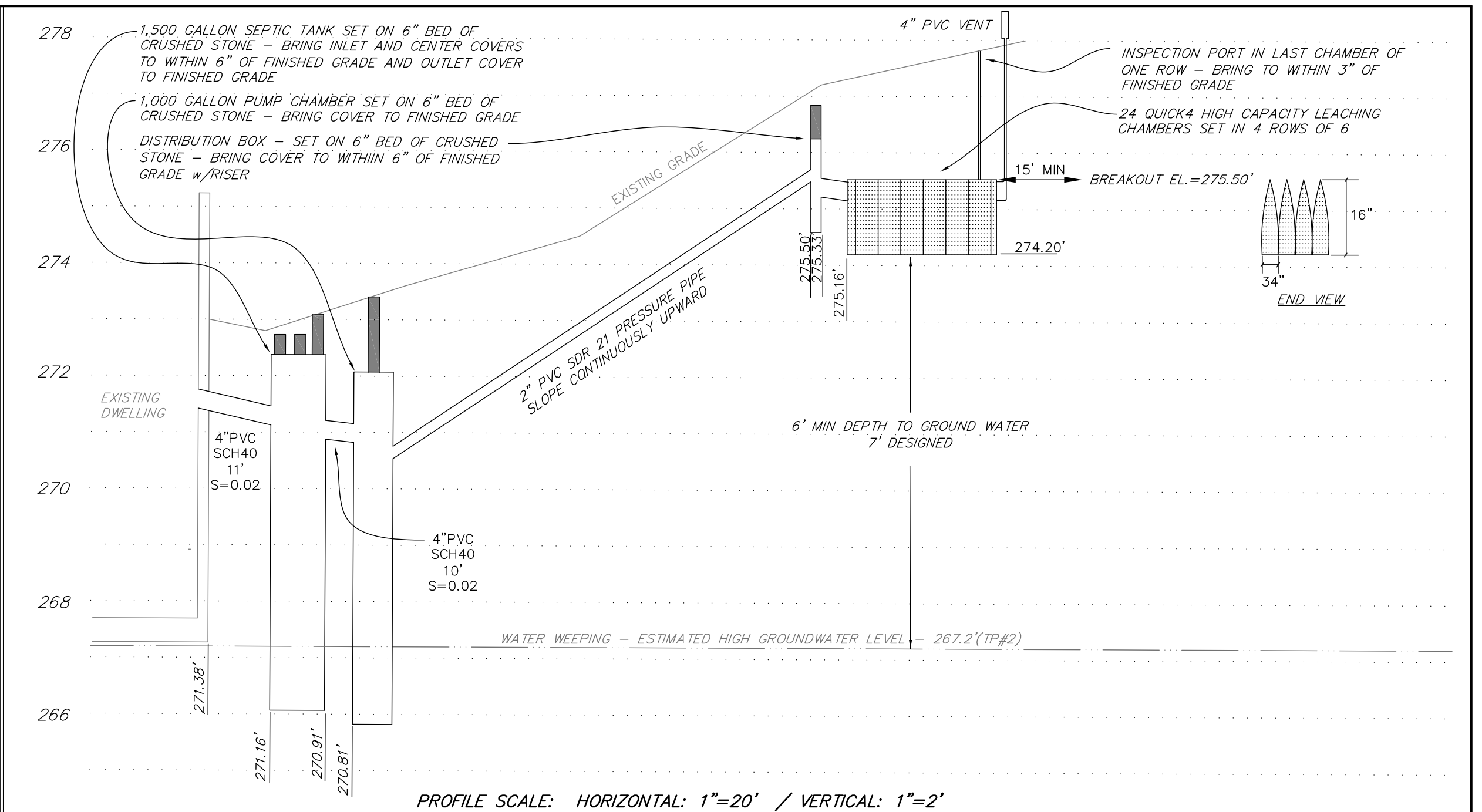
INFILTRATOR SYSTEMS INC.
QUICK4 HIGH CAPACITY
TRENCH DETAIL
(NOT TO SCALE)



INFILTRATOR SYSTEMS INC.
QUICK4 HIGH CAPACITY DETAIL
(NOT TO SCALE)



LOCUS 1"=500'



PROFILE SCALE: HORIZONTAL: 1"=20' / VERTICAL: 1"=2'

BUOYANCY CALCULATIONS

1,500 GALLON SEPTIC TANK
 WEIGHT OF TANK = 11.1 TONS (MANUFACTURERS SPEC)
 HEIGHT OF TANK = 120 LB/CU FT x 7' x 7' x 15' = 8,820 LB = 2.8 TONS
 FORCE OF BUOYANCY = 62.4 LB/CU FT x 11' x 6' x 12' = 4842 LBS = 2.5 TONS
 DOWNWARD FORCE = 13.9 TONS
 UPWARD FORCE = 2.5 TONS (TANK EMPTY)
 SAFETY FACTOR = 5.6

1,000 GALLON PUMP CHAMBER
 WEIGHT OF TANK = 8.6 TONS (MANUFACTURERS SPEC)
 HEIGHT OF TANK = 120 LB/CU FT x 7' x 7' x 15' = 8,820 LB = 2.8 TONS
 FORCE OF BUOYANCY = 62.4 LB/CU FT x 7' x 7' x 14' = 4,281 LBS = 2.1 TONS
 DOWNWARD FORCE = 13.0 TONS
 UPWARD FORCE = 2.1 TONS (TANK EMPTY)
 SAFETY FACTOR = 6.2

WAIVERS REQUESTED:
 310 CMR 15.00 (TITLE 5) REGULATIONS:
 310 CMR 15.211(1)
 - 4' SETBACK FROM A PROPERTY LINE WHERE 10' IS REQUIRED
 FOXBOROUGH BOARD OF HEALTH REGULATIONS:
 - SEPTIC TANK 40' FROM INLAND BANK WHERE 100' IS REQUIRED
 - LEACHING SYSTEM 134' FROM SURFACE WATER WHERE 150' IS REQUIRED

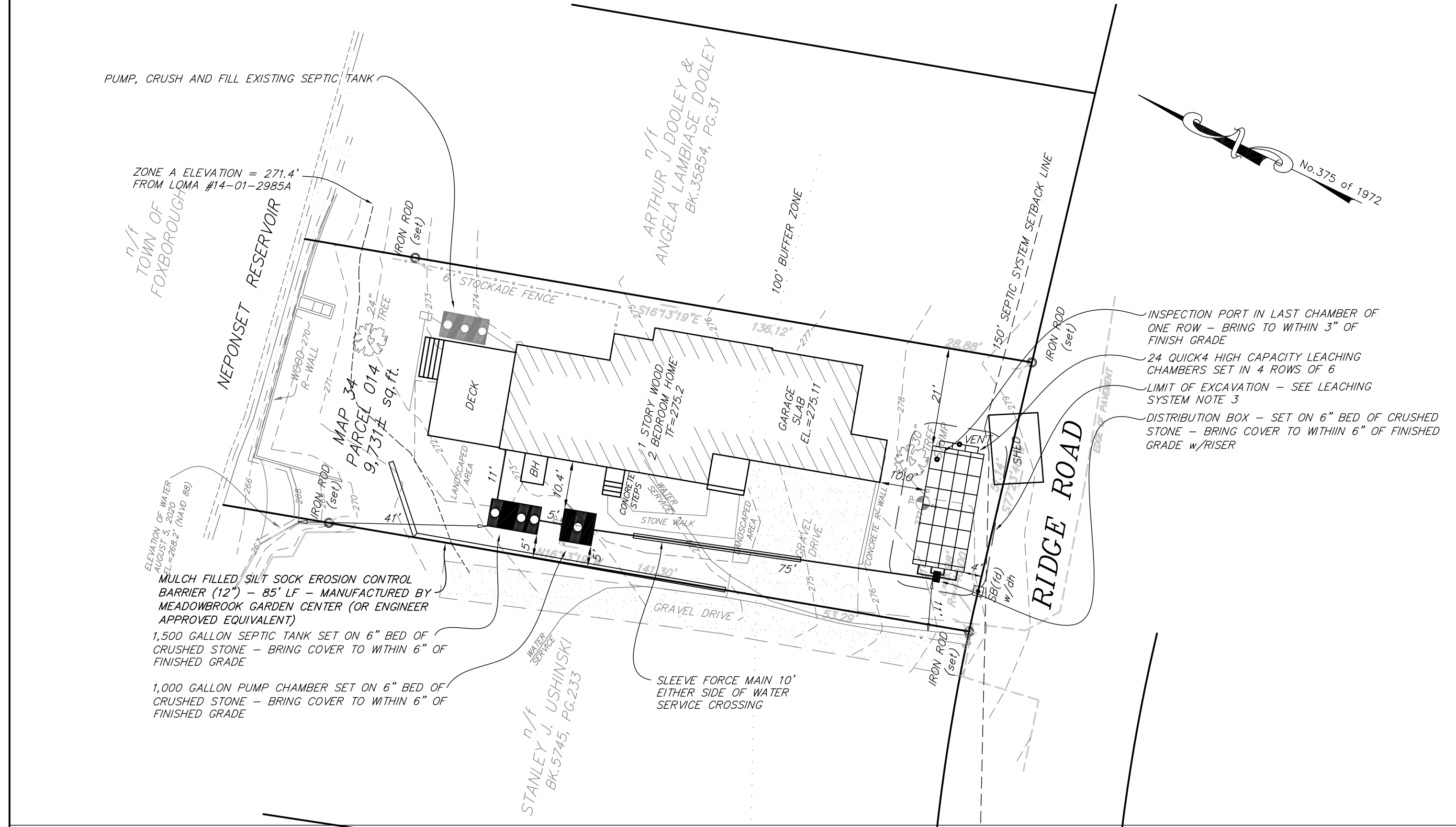
DESIGN DATA:
 1. ESTIMATED HYDRAULIC LOADING: 2 BEDROOMS AT 110 GPD/BEDROOM = 220 G.P.D. GARBAGE DISPOSAL NOT ALLOWED WITH DESIGN
 2. SEPTIC TANK SIZE: AVERAGE DAILY FLOW = 220 x 200 = 440 GALLONS
 SEPTIC TANK PROVIDED = 1500 GALLONS.
 3. DESIGN PERCOLATION RATE = 2 M.P.I. SOIL CLASS = I
 EFFLUENT LOADING RATE = 0.74 GPD/SF

4. LEACHING AREA:
 QUICK4 HI-CAPACITY CHAMBERS = 4.23 SF/LF x 24 CHAMBERS x 4 LF/CHAMBER = 454 SF
 QUICK 4 ENDCAPS = 4.23 SF/LF x 8 END CAPS x 1.0 LF/END CAP = 38 SF
 TOTAL LEACHING AREA = 492 SF

5. DESIGN HYDRAULIC LOADING = 492 SF x 0.74 GPD/SF = 364 GPD
 6. REQUIRED HYDRAULIC LOADING = 330 GAL/DAY (MINIMUM DESIGN PER TITLE 5)
 DESIGN HYDRAULIC LOADING = 364 GAL/DAY

TEST PIT #1		TEST PIT #2		TEST PIT #3		TEST PIT #4	
DATE:	GND ELEV:	DATE:	GND ELEV:	DATE:	GND ELEV:	DATE:	GND ELEV:
8.5.2012	273.2'	8.5.2020	277.6'				
Depth (Elevation)	Soil Description	Depth (Elevation)	Soil Description	Depth (Elevation)	Soil Description	Depth (Elevation)	Soil Description
35" (270.3')	FILL	30" (275.1')	FILL				
55" (268.6')	A & B SL	48" (273.6')	A & B SL				
108" (264.2')	C SAND; 2.5Y/4, LOOSE, GRAVELLY; COBBLY	120" (267.6')	C SAND; 2.5Y/4, LOOSE, GRAVELLY; COARSE				
	WATER @ 64" (267.9')		WATER WEeping @ 125" (267.2')				
PERC DEPTH/RATE:		PERC DEPTH/RATE:	60"/2 MPI	PERC DEPTH/RATE:		PERC DEPTH/RATE:	
BASIS OF GNDWTR ADJUSTMENT:	SOIL MORPHOLOGY	BASIS OF GNDWTR ADJUSTMENT:	SOIL MORPHOLOGY	BASIS OF GNDWTR ADJUSTMENT:		BASIS OF GNDWTR ADJUSTMENT:	
SCS SOIL TYPE:	HINCKLEY SL	SCS SOIL TYPE:	HINCKLEY SL	SCS SOIL TYPE:		SCS SOIL TYPE:	
SOIL EVALUATOR:	RICHARD LESLIE	SOIL EVALUATOR:	RICHARD LESLIE	SOIL EVALUATOR:		SOIL EVALUATOR:	
WITNESS:	KEVIN DUQUETTE	WITNESS:	KEVIN DUQUETTE	WITNESS:		WITNESS:	

CONSTRUCTION NOTES:



GENERAL CONSTRUCTION NOTES:

- All work shall conform to the latest edition of the Commonwealth of Massachusetts regulations governing the installation of subsurface sewage disposal systems, as published in the Code of Massachusetts Regulations and referred to as "Title 5", and any additional requirements of the Board of Health.
- Both the Contractor and Designer must certify construction and prepare as-built plans showing locations and elevations. Contractor shall coordinate his work with the Designer to allow inspection and collection of elevations and locations of the system components. Components shall not be backfilled until inspection and approval is obtained from the Board of Health, Designer and Owner.
- Vehicular traffic, parking of vehicles, stockpiling of materials, and storage of equipment over leaching area prohibited at all times. System shall be staked and flagged or otherwise barricaded from time of installation until Certificate of Compliance is issued. Magnetic stone shall be placed over all system components.

LEACHING SYSTEM NOTES:

- Contractor shall strip and stockpile A and B horizons and any other unsuitable material. Excavated material shall remain on site and be used as required for final grading. Excess material not needed on site shall be disposed of by the contractor.
- Smear or compacted surfaces of the leaching excavation shall be scarified prior to placement of the stone.
- Contractor shall provide certified Title 5 fill material as required to replace topsoil, subsoil, contaminated soil and other unsuitable material if found in the leaching area. Any required fill for the leaching area shall conform to the requirements of Title 5 as repeated below:
 Fill for systems constructed in fill shall consist of select on-site or imported material. The fill shall be comprised of clean granular sand, free from organic matter and deleterious substances. Mixtures and layers of different classes of soils shall not be used. The fill shall not contain any material larger than 2 inches. A sieve analysis, using a #4 sieve, shall be performed on a representative sample of the fill. Up to 45% by weight of the sample may be retained on the sieve. Sieve analysis shall also be performed on the fraction of the fill passing the #4 sieve, such analysis must demonstrate that the material meets the specifications in 310 CMR 15.255(3) and a plot of the sieve analysis shall fall on or between the lines shown in 310 CMR 15.255(3).

4. Fill shall be placed gradually in layers and compacted as required to achieve an in place density acceptable to the Board of Health and Engineer. Fill shall only be placed when the excavation is dry. The bottom of the excavation shall be scarified prior to placement of fill. After the fill is in place, the owner will collect at least one sample and have a sieve analysis performed. If the fill does not pass the analysis, the contractor shall remove all fill and replace with appropriate material at no additional cost to the owner.

5. If vents are required, the header invert shall be above the invert of the distribution piping. An activated carbon filter with exchangeable container shall be provided on the header. The vent shall be backfilled to prevent seepage of water in to the system and shall be constructed to prevent precipitation or animal access.

6. All soil absorption systems shall have a minimum of one (1) inspection port consisting of a perforated 4" (inch) pipe placed vertically down into the stone to the naturally occurring soil or sand fill below the stone. The pipe shall be capped with a screw type cap and accessible to within three (3) inches of finish grade.

DISTRIBUTION BOX NOTES:

- Distribution box shall be watertight precast concrete with an influent baffle and watertight, removable cover. Unused outlets shall be plugged for future use.
- A minimum 6" sump below outlet invert and minimum 12" inside dimensions shall be provided.
- Distribution box shall be set level on 6" of 3/4" stone. Verify by filling distribution box with water and observe that all outlets are at same elevation.

SEPTIC TANK NOTES:

- Septic tank shall be watertight, single compartment, 1,500 gallon capacity.
- Tank shall be set level on 6" of 3/4" stone.
- Inside length to width ratio shall be equal to or greater than 1.5, with a ratio of 2:1 preferred.
- Tank shall be constructed of reinforced watertight precast concrete and shall have manufacturer's quality control seal affixed thereon.
- The outlet of interior compartment shall be equipped with gas baffle and the outlet tee shall be equipped with A1800 Zobel filter (or engineer approved equivalent).

DESIGNER NOTES:

- No variations from this plan shall be made without written direction from the Designer, Owner and Board of Health Agent.
- The contractor shall notify the Designer of any discrepancies between the plan and actual site conditions, should they exist, before installation of the system.
- These plans are meant to be used by a contractor with an in-depth knowledge of 310 CMR 15.00 (Title 5) and are not meant as stand-alone documents.

PUMPING EQUIPMENT

- THE PUMP CHAMBER ELEVATIONS HAVE BEEN CALCULATED BASED ON A 1,000 GALLON PRECAST CONCRETE TANK WITH INSIDE DIMENSIONS OF 6'0" FEET LONG BY 6'0" FEET WIDE. USE OF A PUMP CHAMBER WITH DIFFERENT DIMENSIONS WILL REQUIRE RECALCULATION OF THE LEVEL SWITCH ELEVATIONS.
- PUMP SHALL BE A FLOOR MOUNTED SUBMERSIBLE SEWAGE PUMP, MYERS MODEL WH9S OR APPROVED EQUAL. PUMP SHALL DISCHARGE 20 GALLONS PER MINUTE AT A TOTAL DYNAMIC HEAD OF 9 FEET. PUMP MOTOR SHALL BE 0.5-HORSEPOWER, 1750 RPM, SINGLE PHASE.
- CONTROLS SHALL CONSIST OF A WALL MOUNTED SIMPLEX CONTROL PANEL LOCATED INSIDE THE HOUSE. CONTROLS SHALL BE MOUNTED IN A NEMA 4X ENCLOSURE. INCLUDE ALL CABLES, CONDUIT, PACT LIQUID LEVEL CONTROL SWITCH (AS MANUFACTURED BY CSI CONTROLS) OR EQUIVALENT (NO FLOAT SWITCHES), HIGH LEVEL ALARM WITH BUZZER AND LIGHT, AND ALL OTHER ELECTRICAL APPURTENANCES REQUIRED TO MAKE A COMPLETE AND WORKING INSTALLATION IN ACCORDANCE WITH TITLE 5 AND ALL OTHER APPLICABLE STATE AND LOCAL CODES AND REGULATIONS. THE ALARM SHALL BE POWERED BY A CIRCUIT SEPARATE FROM THE CIRCUIT TO THE PUMPS.
- DISCHARGE PIPING AND APPURTENANCES SHALL BE DUCTILE IRON OR PVC SDR 21 OR STRONGER FOR ALL DISCHARGE PIPING, FITTINGS, CHECK VALVES, GATE VALVES, AND OTHER APPURTENANCES (SEE DETAILS). FURNISH AND INSTALL ALL APPURTENANCES REQUIRED FOR A COMPLETE AND WORKING INSTALLATION IN ACCORDANCE WITH TITLE 5.
- ALL WIRING AND SPECIFICATIONS SHALL BE ACCORDING TO STATE AND LOCAL CODE. WHERE THERE IS A CONFLICT BETWEEN THESE PLANS AND THE CODE, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- PUMPING EQUIPMENT SHALL BE TESTED PRIOR TO COVERING DISTRIBUTION BOX. THE ENGINEER SHALL BE NOTIFIED OF THE TESTING DATE. CONTRACTOR SHALL SUPPLY CLEAN WATER TO TEST THE OPERATION OF THE PUMPS AND FORCE MAIN. THE PUMP MANUFACTURER'S REPRESENTATIVE SHALL BE ON SITE DURING TESTING TO TROUBLE SHOOT ANY PROBLEMS WITH THE PUMPING EQUIPMENT. AFTER SUCCESSFUL OPERATION OF THE PUMPS IS VERIFIED, THE CONTRACTOR MAY PROCEED WITH COMPLETION OF THE SYSTEM.

BENCHMARK DESCRIPTION: TO BE SET BENCHMARK ELEVATION AND DATUM: ELEVATION = TO BE DETERMINED (NAVDB88) THERE ARE NO PUBLIC WELLS OR SURFACE WATER SUPPLIES WITHIN 400' OF THE PROPOSED SYSTEM. THERE ARE NO PRIVATE WELLS WITHIN 200' OF THE PROPOSED SYSTEM. THERE ARE BORDERING VEGETATED WETLANDS WITHIN 150' OF THE PROPOSED SYSTEM. THERE ARE NO WETLANDS BORDERING A SURFACE WATER SUPPLY OR TRIBUTARIES TO SAME. THERE ARE NO STREAMS AS DEFINED BY THE RIVERS ACT WITHIN 200' OF THE PROPOSED SYSTEM. THERE ARE NO OPEN, SURFACE OR SUBSURFACE DRAINS THAT INTERCEPT HIGH GROUND WATER ON THE LOT. THERE ARE NO OTHER OPEN, SURFACE OR SUBSURFACE DRAINS ON THE LOT. THE SITE DOES NOT LIE WITHIN A REGULATORY FLOODWAY BUT IS PARTIALLY WITHIN A 100 YEAR FLOOD ZONE. WASTEWATER FROM THE PROPERTY WILL CONSIST OF DOMESTIC WASTE ONLY.

SCHEDULE OF ELEVATIONS

	Finished Grade Above Structure	Finished Grade Above Structure	Finished Grade Above Structure
Top of foundation	= 275.23'	Inv. @ pump chamber inlet = 270.81'	Inv. @ leaching structure(in) = 275.16'
Inv. of pipe @ foundation	= 271.38'	Inv. @ dist. box inlet = 275.50'	Inv. @ leaching structure(end) = 275.16'
Inv. @ septic tank inlet	= 271.16'	Inv. @ dist. box outlet = 275.33'	Elevation of stone bottom = 274.20'
Inv. @ septic tank outlet	= 270.91'		

SEWAGE DISPOSAL SYSTEM DESIGN

PREPARED FOR: SUZANNE WALKER 508.525.9502
79 RIDGE ROAD FOXBOROUGH, MA 02035

PROPERTY ADDRESS: 79 RIDGE ROAD FOXBOROUGH, MA
ASSESSORS MAP/PARCEL: MAP 034, PARCEL 014

THIS SEWAGE DISPOSAL SYSTEM WAS DESIGNED IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS ENVIRONMENTAL CODE OF REGULATIONS (TITLE 5) AND THE BOARD OF HEALTH REGULATIONS OF THE TOWN/CITY OF FOXBOROUGH

ZONE CLASSIFICATION: R-40
NITROGEN SENSITIVE AREA: YES

BUILDING SET-BACKS:
FRONT: 35' SIDE: 15' REAR: 30'



BAY COLONY GROUP, INC.
FOUR SCHOOL STREET
FOXBOROUGH, MA 02035
(508) 543-3939

Date: AUGUST 10, 2020 Scale: 1"=20'
Designed by: CHG Drawn by: CHG Checked by: WBL
Revisions: Job Number: 09-0217
DWG NUMBER: 09-0217-SS
SHEET 1 OF 1