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# NAPOLI RESIDENCE

14 ALICE BRADLEY LN, FOXBORO MA

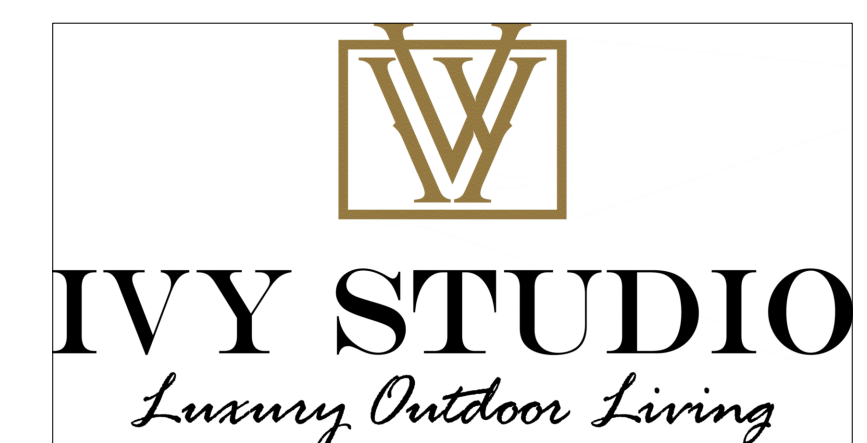


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CONSTRUCTION



DOCUMENTS



JANUARY 2021

**DRAWING INDEX:**

- L0.00 - GENERAL NOTES**
- L0.10 - OVERALL PROPERTY & FENCING PLAN**
- L1.00 - POOL LAYOUT**
- L1.10 - HARDSCAPE PLAN**
- L2.00 - LANDSCAPE PLAN**
- L3.00 - DETAILS**
- L4.00 - EXPANDED UPPER YARD/DEMO**
- L4.10 - EXPANDED UPPER YARD/PLAN**



## PROJECT NOTES

The existing conditions survey was compiled by XXX dated XXX. Field measurements were taken by Ivy Studio LLC to verify conceptual landscape layout and for the production of the design documents herein. Although every effort has been made to locate accurately all conditions, actual conditions may vary from those shown. Ivy Studio assumes no responsibility for errors or inconsistencies as the relate to documented existing conditions. The Contractor shall make a full review off all existing conditions of the site and shall report discrepancies to the Designer before starting work. The Contractor shall assume responsibility for actual conditions as they exist on site.

The Contractor shall familiarize themselves with all utilities above grade, at grade and underground including but not limited to all utilities and structures. The Contractor shall verify with the General Contractor and Utility Companies prior to the start of Construction. The Contractor shall take full responsibility for any costs incurred due to the damage and replacement of utilities during work. The Contractor shall contact Massachusetts DIG SAFE 1888.344.7233 to locate utilities prior to starting work.

The term "Contractor" within these documents shall mean the Site Contractor performing the work, engaged by Ivy Studio. The "Designer" referred to within these notes shall mean Ivy Studio.

It is the Contractor's responsibility to define the means, methods and materials of construction for the project. Ivy Studio shall not control or be responsible for construction means, methods, materials, schedules, sequences or procedures other than to achieve the scope intent shown within these documents. It is the Contractor's responsibility to review all drawings and specifications to determine the total scope of work and all required coordination, prior to submitting a bid price. The bid evaluation form provided to the Contractor is supplemental information and shall not be used as the sole means to determine complete scope and coordination necessary for the project completion. Ivy Studio shall not be held liable for any omissions to the bid evaluation form or drawings which do not cover trade scope necessary for project completion.

Prepare and submit a Contractor's construction schedule upon contract award for review by Ivy Studio. Provide bi-weekly construction updates to Ivy Studio either on Builder Trend or as formal documentation in writing. Update schedule as required to reflect actual construction progress.

Payment Application forms - reference Contractor contract.

Substantial Completion Inspection:

Use cleaning materials and agents recommended by manufacturer or fabricator of the surface to be cleaned.

Do not use cleaning agents that are potentially hazardous to health or property or that might damage finished surfaces.

Comply with written instructions from Manufacturer and safety standards.

Do not burn waster materials. Do not bury debris or excess materials on Homeowners property. Do not discharge volatile or harmful materials into drainage systems.

Materials & methods of construction shall comply with the following standards:

A. Standard Specification: Comply with the Commonwealth of Massachusetts, Mass Highway Department, Standard Specifications for Highways and Bridges, Latest Edition.

B. ASTM: American Society for Testing and Materials.

C. AASHTO: American Association of State Highway and Transportation Officials.

D. FS: Federal Specifications

E. ACI: American Concrete Institute

F. AI: The Asphalt Institute

G. ANSI: American National Standards Institute

H. PCA: Portland Cement Association

I. NAAMM: National Association of Architectural Metal Manufacturers

J. AISC: American Institute of Steel Construction

K. AWS: American Welding Society

L. BSI: Building Stone Institute

M. BIA: Brick Institute of America

## EXECUTION NOTES

### I. MOBILIZATION & SITE PREPARATION

1. Prior to construction the Contractor and Designer shall arrange a pre-construction meeting on the site. The parties shall verify all items to be removed prior to the work. Existing materials to be salvaged or of special value to the Homeowner shall be stockpiled or preserved in designated locations. The Contractor shall protect all materials throughout the course of construction. The extent or replacement and/or repair to damaged items or work shall be determined by the Designer and/or Homeowner.
2. Contractor is responsible for obtaining all applicable permits and inspections from regulatory agencies having jurisdiction over any part of the work.
3. The contractor shall be responsible for visiting the site to determine the extent of demolition, preparation, and removals necessary (whether shown on the drawings or not) to construct the proposed site improvements. The Contractor's final bid price shall reflect all necessary foreseen demolition, preparation and removals for landscape improvements.
4. All existing utilities shall remain and be protected until completion of the project.
5. Siltation fence and straw bales/wattles shall be installed around the perimeter of any drainage structures.
6. The Contractor shall layout and determine the elevations of all site elements for approval by the Landscape Architect prior to the start of construction.
7. Provide a minimum of (3) 2" PVC schedule 40 pipe sleeves under all paved areas for electrical and irrigation lines. Sleeve locations are to be identified with one-foot lengths of rebar set flush with grade at each end of the sleeves. Contractor is responsible to maintain documentation on all installed sleeve locations for reference during and after the project.
8. Grading within the drip lines of existing trees to remain and new trees shall be done by hand to avoid damage to the roots.
9. Impacts on vegetation to remain during construction are to be kept to a minimum. Tree protection fences shall be erected at the edge of canopy prior to start of construction. Standard 4' high tree fence, high orange reflective with wooden stakes shall be used.
10. The contractor shall review with the Designer and General Contractor the areas of construction operations including proposed parking, vehicular construction operations, stockpiling of materials and areas of construction operations of associated trades prior to beginning any work.
11. All surfaces for site improvements are to be brought to rough grade; refer to plans for thicknesses of base course, footings, pavements above subgrade.

### II. LAYOUT, MATERIAL & PRODUCT NOTES

1. Use dimensional information given, do not scale drawings.
2. The contractor shall field verify all dimensions shown on the plan and report any discrepancies to the designer, prior to the start of construction. The Contractor shall review and obtain the approval of layout for all landscape elements from the Designer.
3. All lines and dimensions are parallel or perpendicular to the lines from which they are measured, unless otherwise shown.
4. **The Contractor shall refer any questions on material, finishes, labors, and/or products not specified herein to the Designer prior to ordering materials or starting work.**
5. Contractor is responsible for the production of fabrication shop tickets, to account for the accurate size and joint widths of each stone. These dimensions shall be field verified by the Contractor to ensure stones are fabricated to meet field conditions.

Representative stone material samples shall be delivered to the Designer prior to ordering any stone, for final review. Samples shall be required as follows for this project (minimum size 1'x1'):

Provide a single sample of cap granite for spa 12"x12" in size with one finished edge.

Upon approval of all materials prior to beginning work, mockups on site are required to demonstrate workmanship quality and design intent. Mockups required for this project as follows:

1. 2x2 sample in place of spa veneer to show stone scale, color blend & joint quality.
2. Review layout & provide fabrication sketch for spa coping & overflow piece. Confirm based off in-place granite shell measurements once spa veneer is complete.

### III. PLANTING, GRADING & LAWNS

1. Contractor to field verify all dimensions shown herein and report any major discrepancies to the designer before proceeding with work. Ivy Studio llc assumes no liability for the accuracy of the survey baseplan. Contractor to verify and coordinate with designer using proposed grading plan as a basis.
2. Property line shall be surveyed and staked out prior to the start of work and reviewed in field by contractor.
3. Once subgrade elevation has been achieved, contractor shall provide (4) test pits between lawn & plant bed areas to verify adequate soil infiltration at an infiltration rate satisfactory to the designer.
4. Provide a representative stone wall/veneer sample at least 4'x4' to show the workmanship and character of the stone wall, for client & designer review.
5. Ensure adequate compaction of subbase under all hardscape areas including but not limited to walls, pavers, footings, walkways and steps. report any unforeseen obstructions or inadequate soils during excavation to the designer.
6. Contractor to review all existing trees with the designer and include all necessary tree removals for the scope of work herein.
7. All new plant material shall be of good health and free from insects, disease, compromised structure. designer reserves the right to reject new plant material onsite that appears compromised or does not achieve the design intent.
8. Decompaction of all new lawn & planting areas is required by scarifying subgrade to a depth of 12" prior to placement of topsoil or planting mix.
9. Topsoil shall be kept dry and not placed in a saturated condition to avoid settlement. Contractor shall be responsible for any and all restoration of lawn areas disturbed by construction activities.

## SPECIFICATION NOTES & IMAGERY

Scope details for this project shall be as follows:

Paver Deck & Walkways: Techobloc Blu60 slab smooth paver, Shale Grey. Confirm color with Landscape Designer prior to final order.

Border Course: where shown on drawings. Techobloc Victorien paver, Sandalwood. Confirm color with Landscape Designer prior to order.

Geotextile Fabric underlay: Non-woven fabric comprised of polypropelene fibers - Mirafi S800 by Tencate or approved equal.

Pool & Spa Coping: Pool/Techobloc Bullnose concrete paver, Onyx black Confirm color with Landscape Designer prior to final order. Spa/Salt & pepper granite per detail, 2" thick.

Raised Spa Veneer: New England Fieldstone thin-mosaic veneer purchased from Stoneyard Littleton or equal. Includes 1" thermal granite spillway piece for overflow spill. Refer to detail herein.

Electrical (Landscape Outlets): Provide 120 linear feet of conduit open trenching & backfill, 2' deep with 6" of clean sand cover. Provide 60 linear feet total of 4" PVC conduit sleeving.

Gas Connection: Provide 100 linear feet of pipe trench 2' deep x 2' wide with 6" clean sand cover and trace flagging from meter to gas heater final location, TBD.

Drainage: 12x12 square ADS Grates for lawn areas color green. Piping to drywells. Refer to plans.

500 gallon shallow leaching drywell with 20" diameter inspection cover. Dig hole to 12' x 8' in size, surround sides of hole with filter fabric and  $\frac{3}{4}$ " crushed stone.

All piping shall be 4" solid schedule 40 PVC or equal.

- Filter Fabric Wrap to Surround Dry Wells:

Part Number: FWFF67.

Material: Porous, non-woven filter fabric.

Length: 7 feet.

Width: 2 feet.

Weight: 1 ounce.

Mullen Burst: 175 psi.

Flow Through: 200 gpm.

Color: Black.

Expanded Upper Yard scope of work: Cut down trees as marked, pull and dispose all stumps.

Any tree pruning or debris/brush removal as reviewed with the Landscape Designer.

Establish all finish grade elevations & edge of lawn areas, as reviewed with Landscape Designer.

Placement of excess pool spoils/fill in 12" compacted machine lifts across expansion area as noted.

Placement of 12" depth of loam across new beds areas and 6-8" depth within all lawn areas.

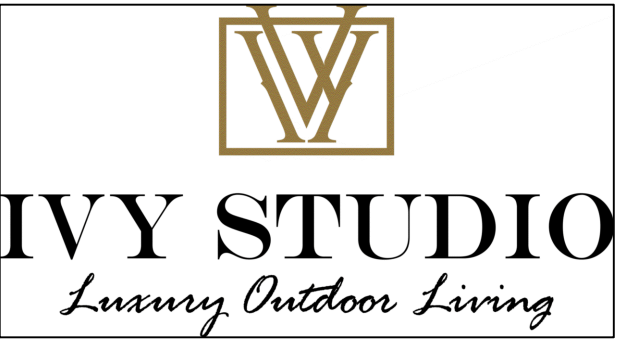
Rough grading and slope grading, placement of Rip-rank for bank edges in accordance with detail.

Placement & planting of all screen trees per plan.

Finish mulch all trees upon completion of irrigation.

Finish rake & hydroseed expanded lawn area & any disturbance areas.

\*\*REFER TO CONSTRUCTION DETAILS HEREIN



CONSTRUCTION DRAWINGS

## GENERAL NOTES

ISSUE DATE

DATE

DESCRIPTION

REVISIONS

DATE

REFERENCE



TRUE NORTH

SCALE: 1"=5'

## NAPOLI RESIDENCE

14 ALICE BRADLEY LANE  
FOXBORO, MA

PROJECT NO.:

DRAWN BY: JM

DRAWING NO.:

L-0.00

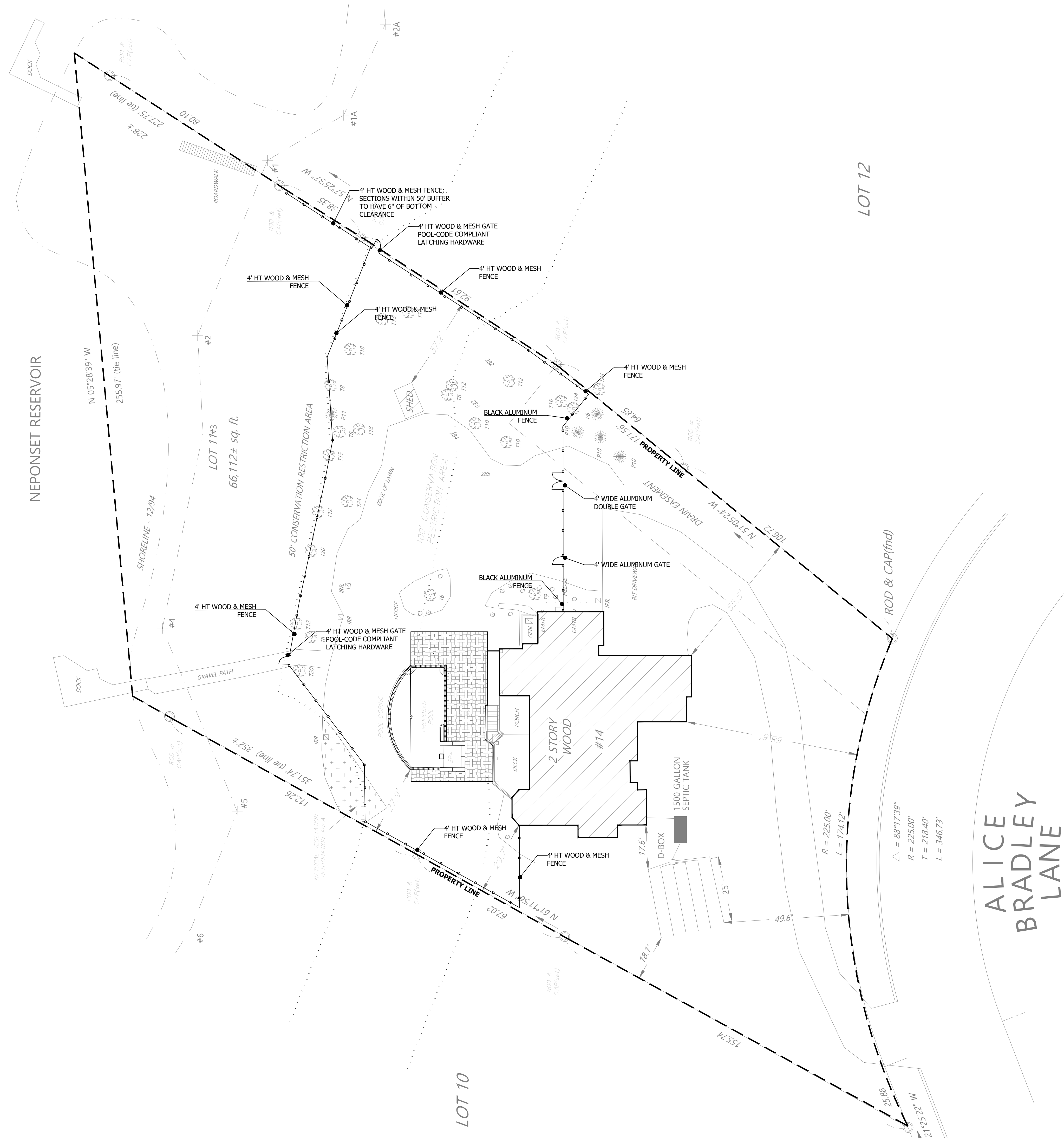




**IVY STUDIO**  
Luxury Outdoor Living

CONSTRUCTION DRAWINGS

**OVERALL PROPERTY  
& FENCING PLAN**



SCALE - 1" = 20'

ISSUE DATE	
DATE	DESCRIPTION

REVISIONS	
DATE	REFERENCE



**NAPOLI RESIDENCE**

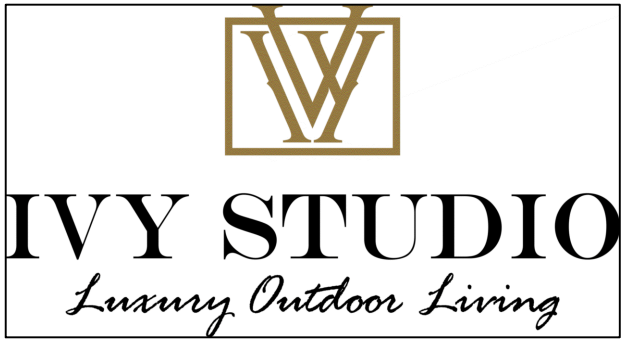
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FOXBORO, MA

PROJECT NO.:  
DRAWN BY: JM

DRAWING NO.:  
**L-0.01**

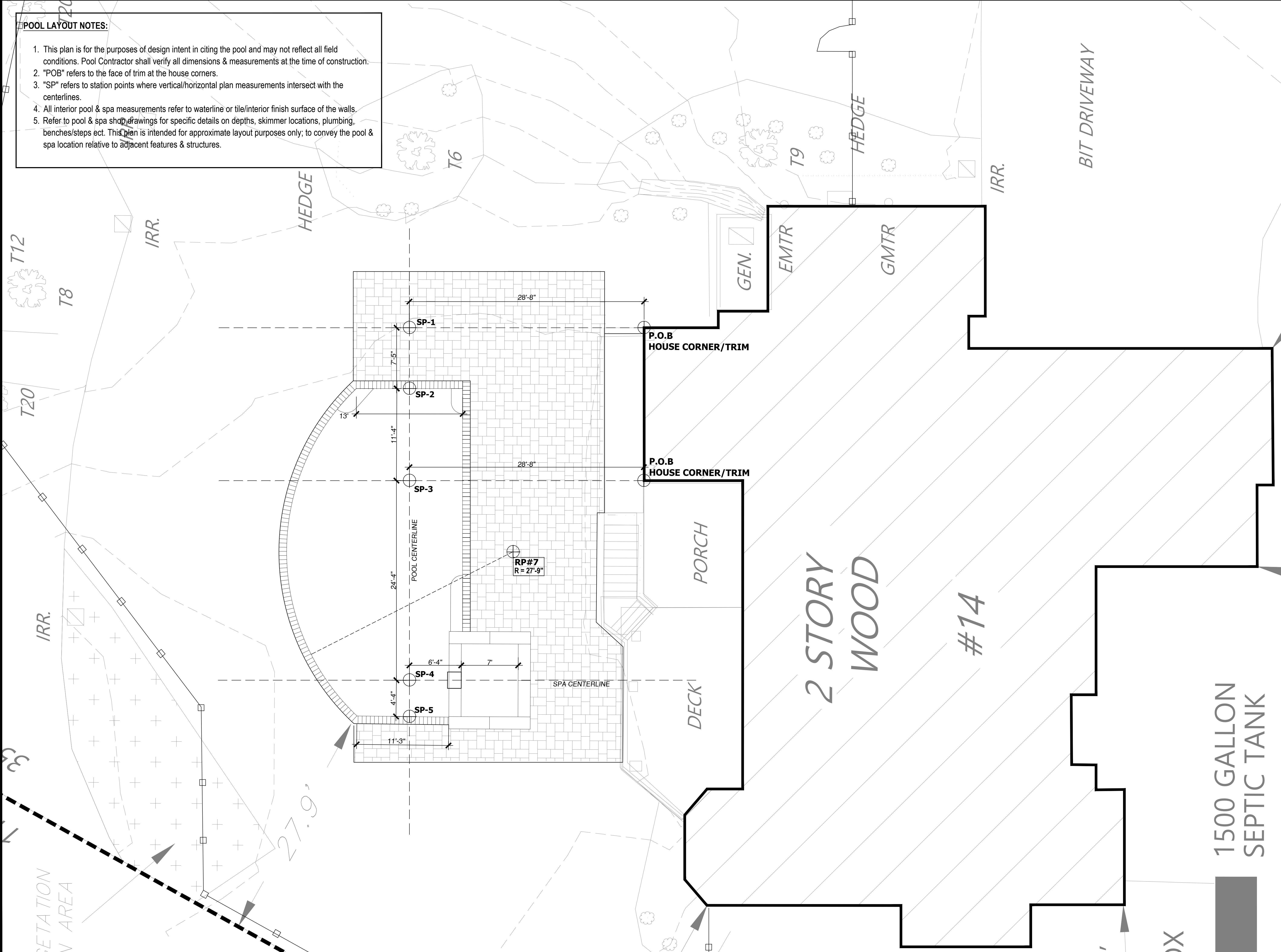
**POOL LAYOUT NOTES:**

1. This plan is for the purposes of design intent in citing the pool and may not reflect all field conditions. Pool Contractor shall verify all dimensions & measurements at the time of construction.
2. "POB" refers to the face of trim at the house corners.
3. "SP" refers to station points where vertical/horizontal plan measurements intersect with the centerlines.
4. All interior pool & spa measurements refer to waterline or tile/interior finish surface of the walls.
5. Refer to pool & spa shop drawings for specific details on depths, skimmer locations, plumbing, benches/steps ect. This plan is intended for approximate layout purposes only; to convey the pool & spa location relative to adjacent features & structures.



CONSTRUCTION DRAWINGS

POOL LAYOUT



ISSUE DATE	
DATE	DESCRIPTION

REVISIONS	
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**NAPOLI RESIDENCE**

14 ALICE BRADLEY LANE  
FOXBORO, MA

PROJECT NO.:  
DRAWN BY: JM

DRAWING NO.:  
L-1.00

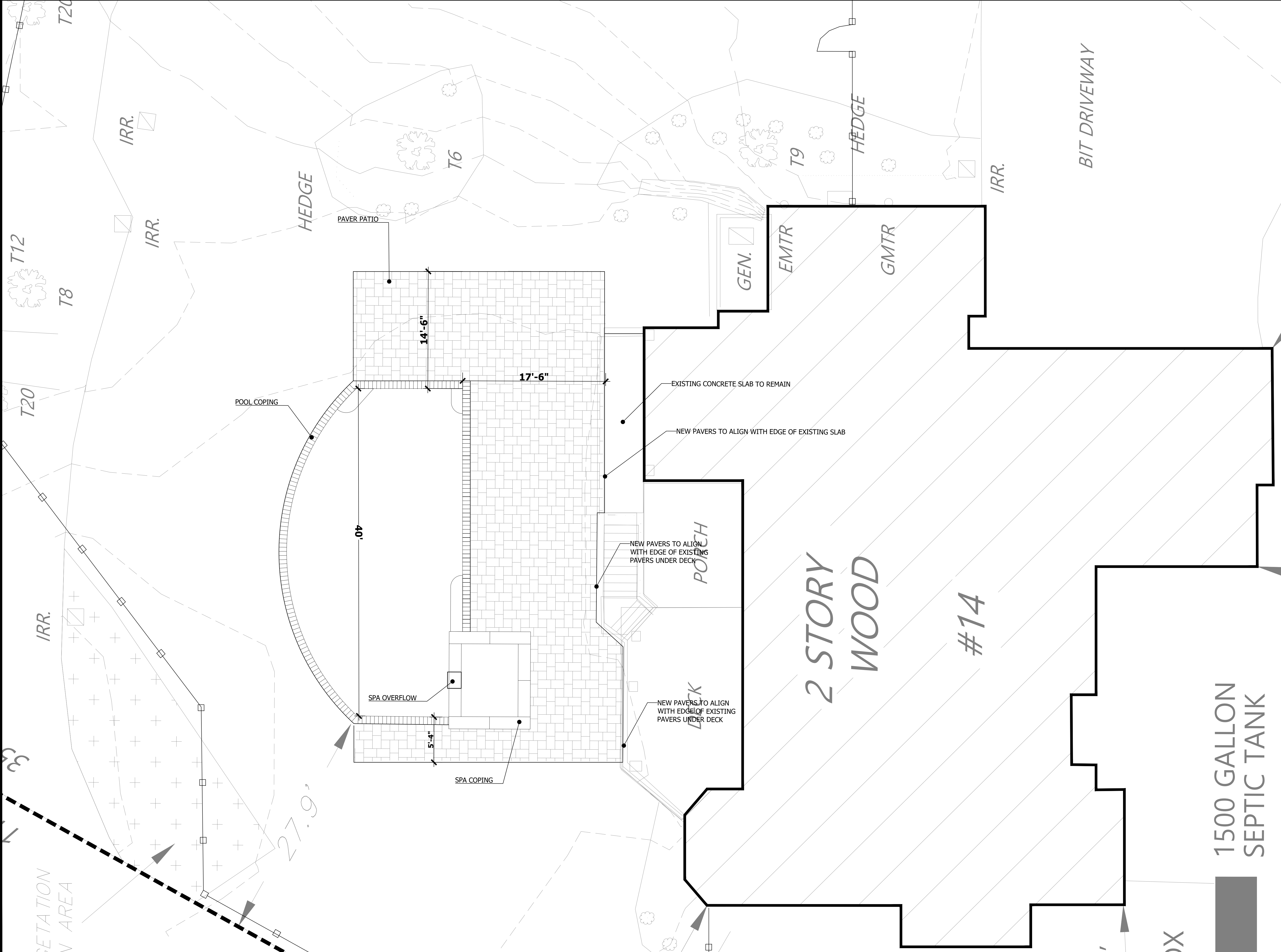




**IVY STUDIO**  
*Luxury Outdoor Living*

CONSTRUCTION DRAWINGS

**HARDSCAPE PLAN**



ISSUE DATE	
DATE	DESCRIPTION

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 TRUE NORTH

SCALE: 1"=5'

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FOXBORO, MA

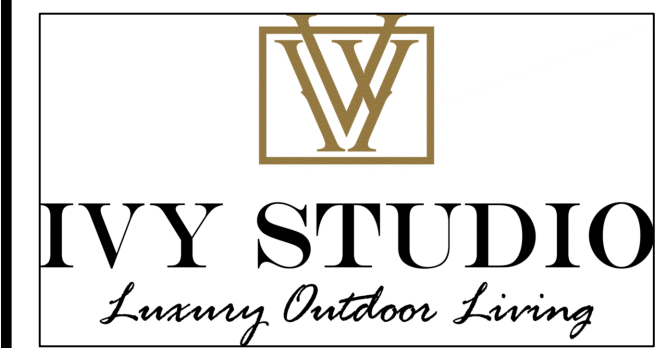
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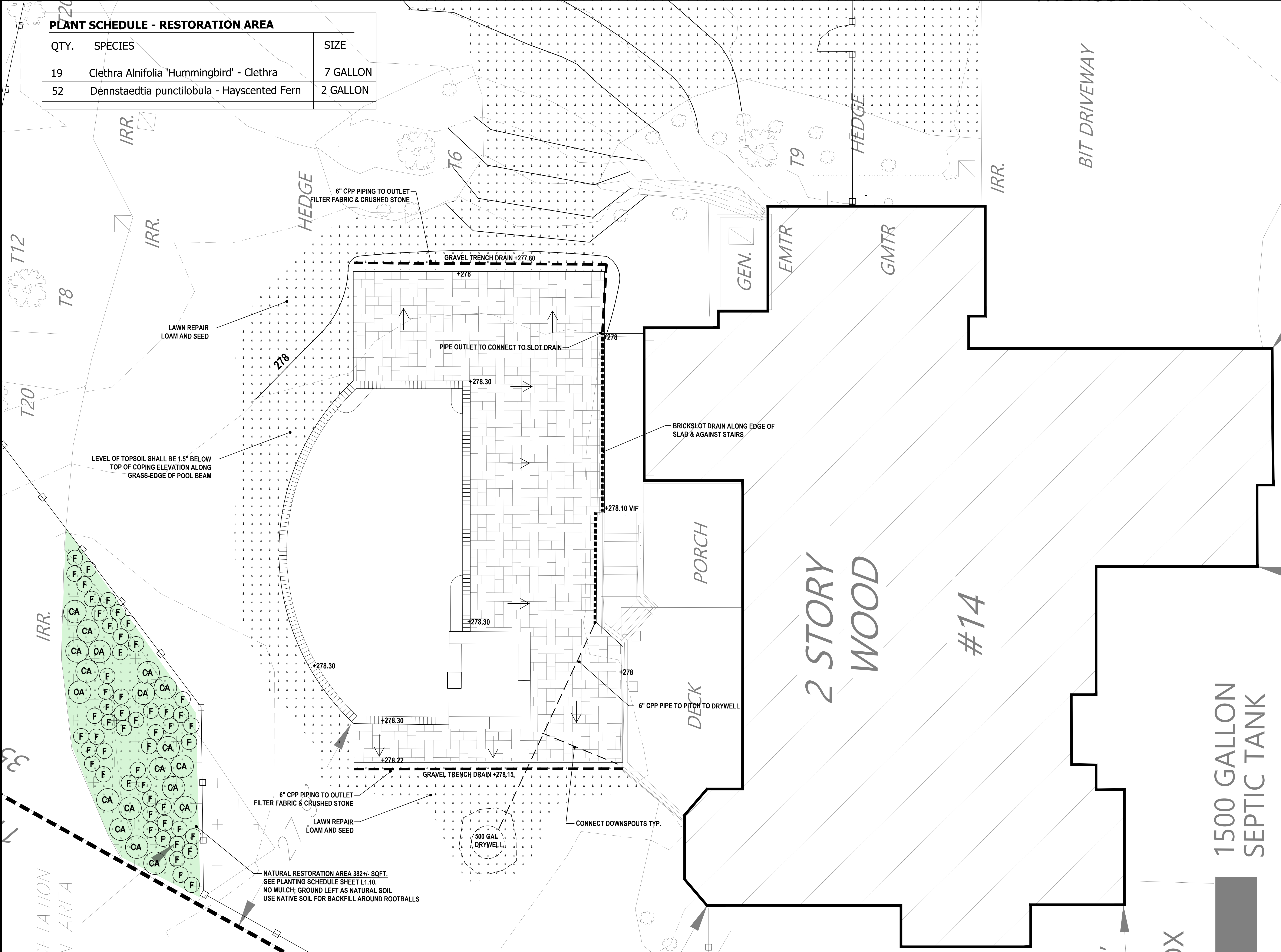
**PLANT SCHEDULE - RESTORATION AREA**

QTY.	SPECIES	SIZE
19	Clethra Alnifolia 'Hummingbird' - Clethra	7 GALLON
52	Dennstaedtia punctilobula - Hayscented Fern	2 GALLON



CONSTRUCTION DRAWINGS

LANDSCAPE PLAN



ISSUE DATE	
DATE	DESCRIPTION

REVISIONS	
DATE	REFERENCE



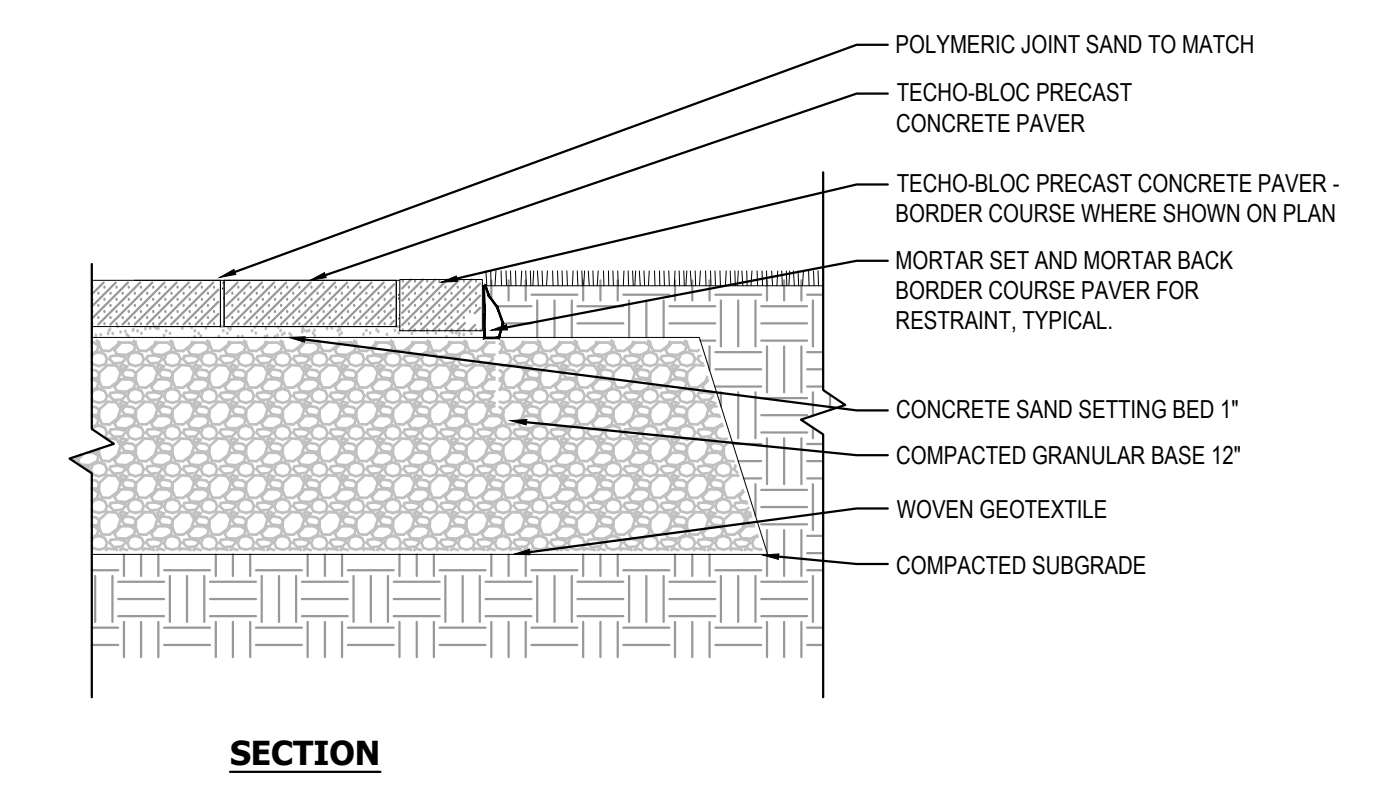
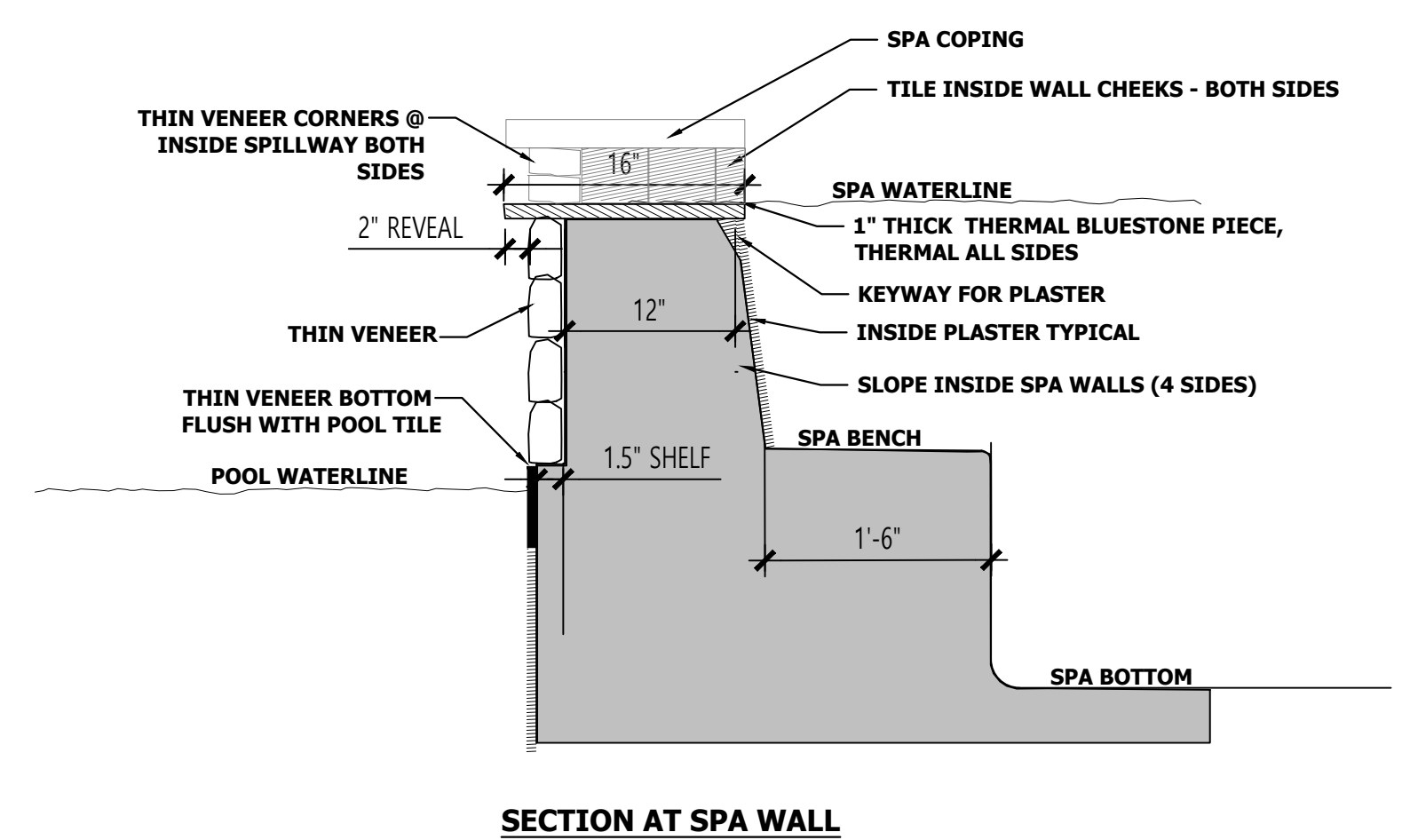
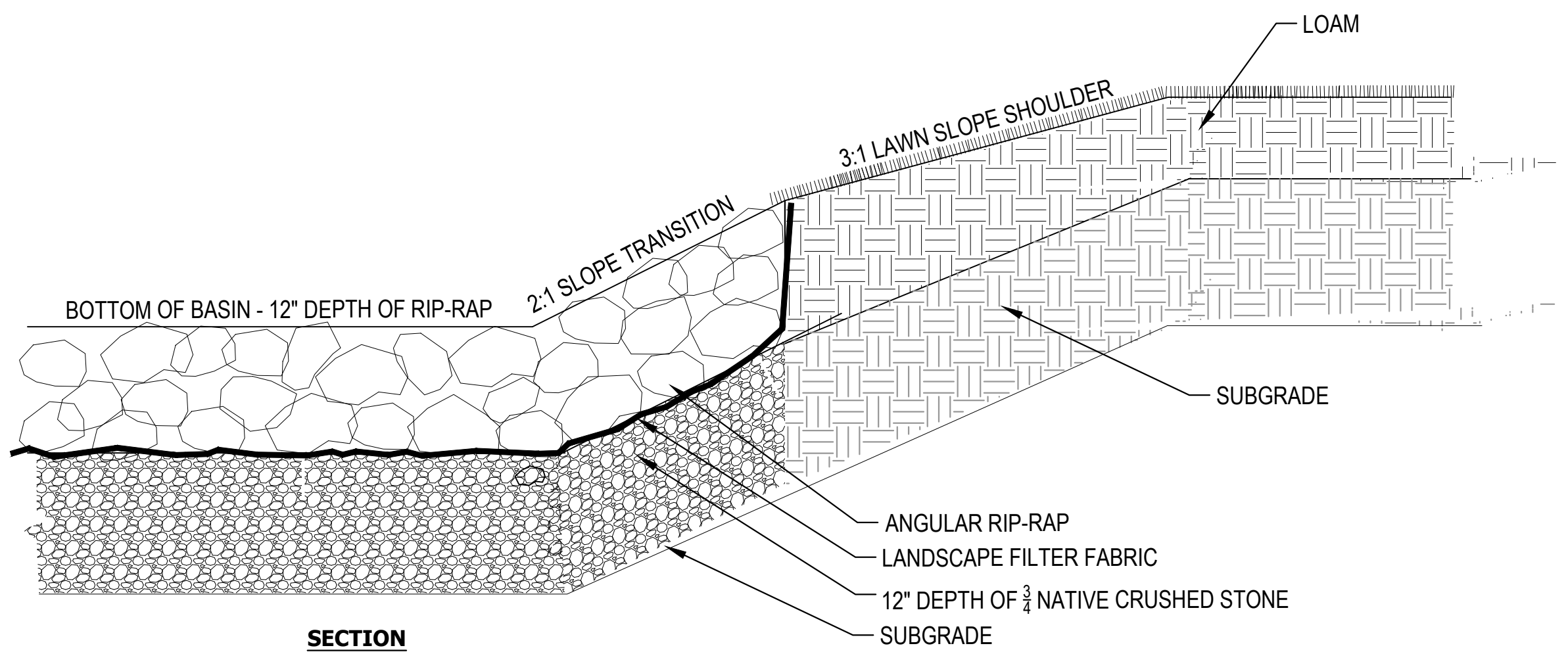
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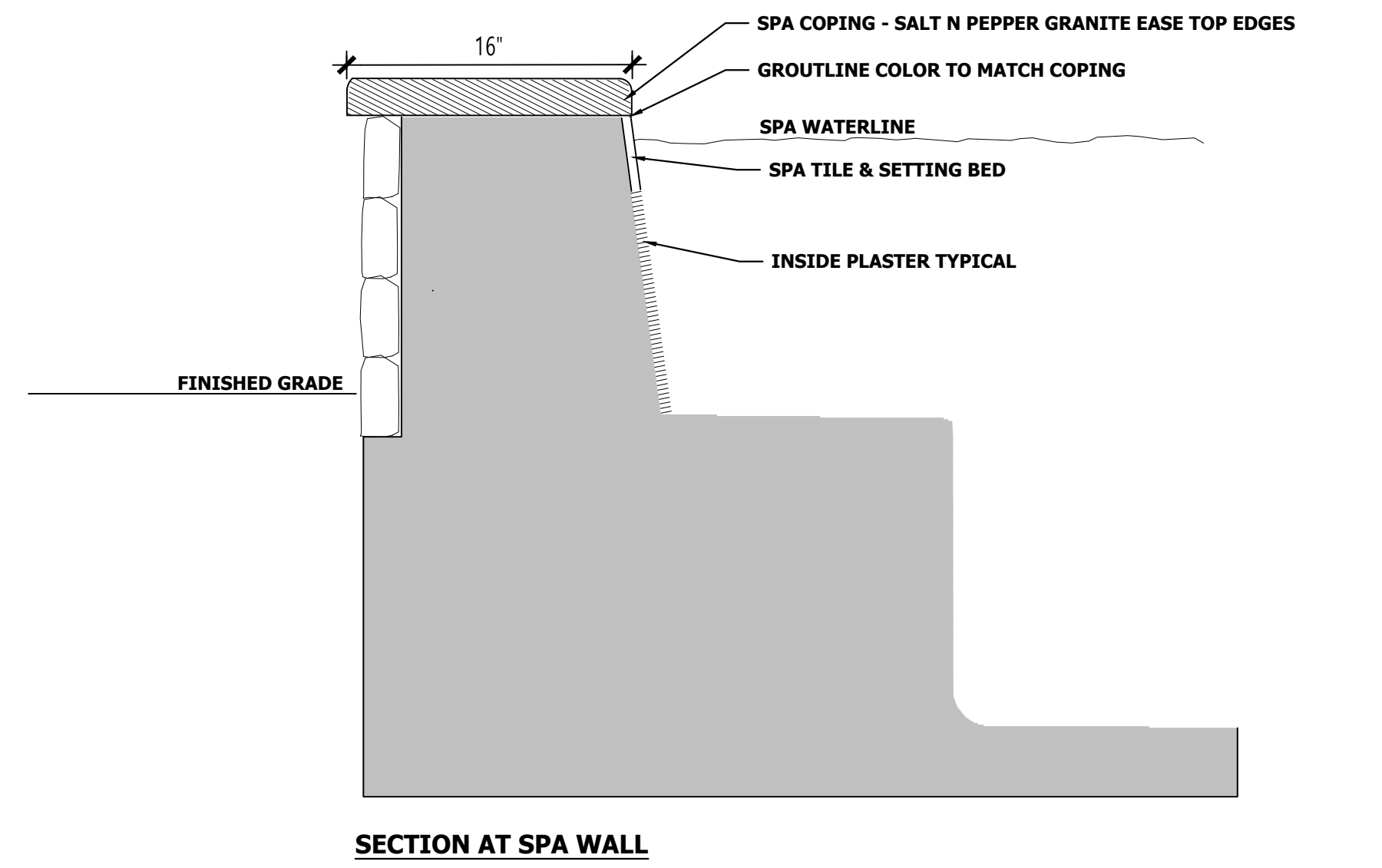
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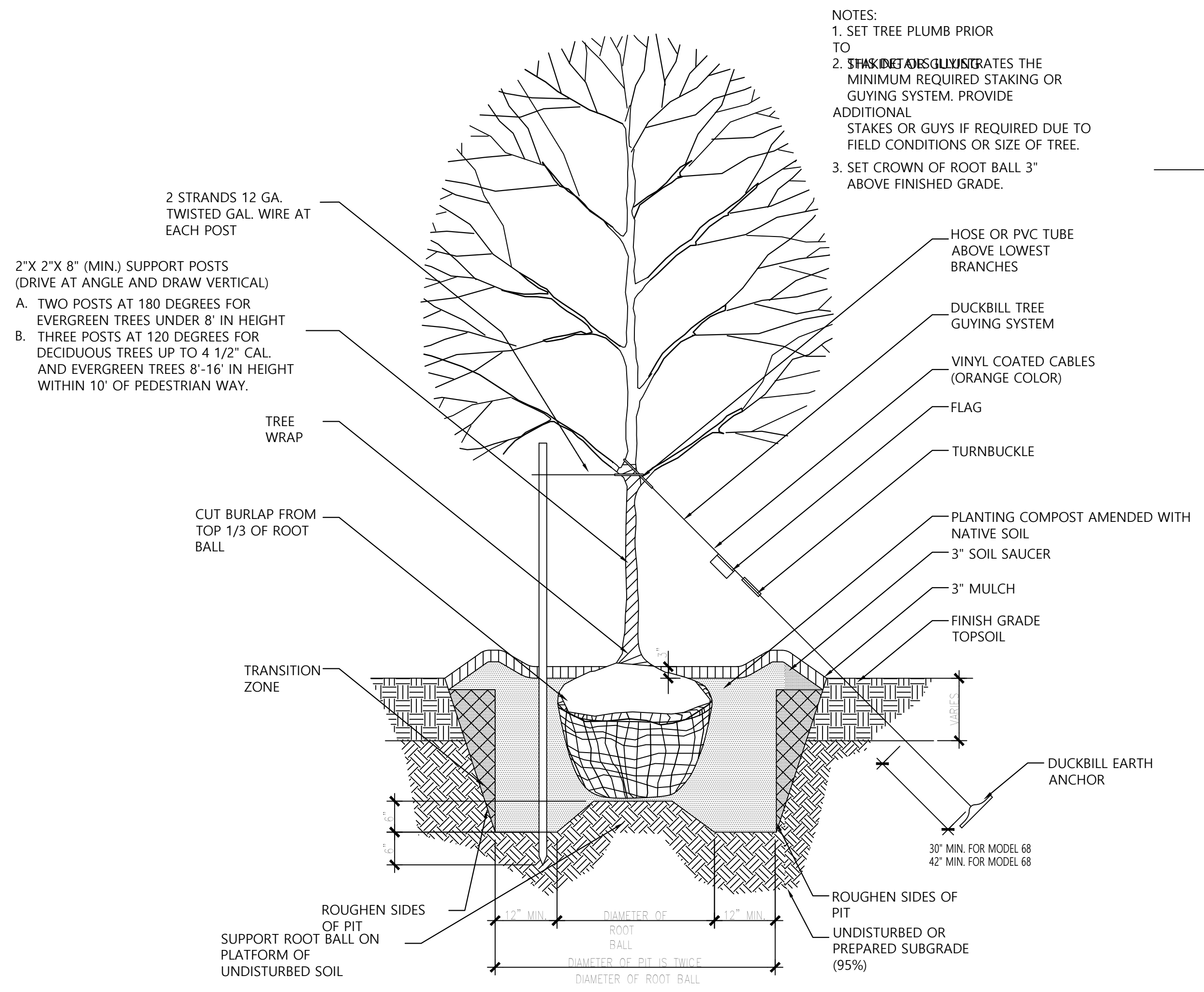
**1 PAVER PATIO**  
SCALE: N.T.S.

**4 SPA/OVERFLOW CROSS SECTION**  
SCALE: N.T.S.



**2 SPA COPING**  
SCALE: N.T.S.

**6 UPPER AREA- RIP-RAP BANK**  
SCALE: N.T.S.



**STAKING DETAIL**

FOR USE WITH:

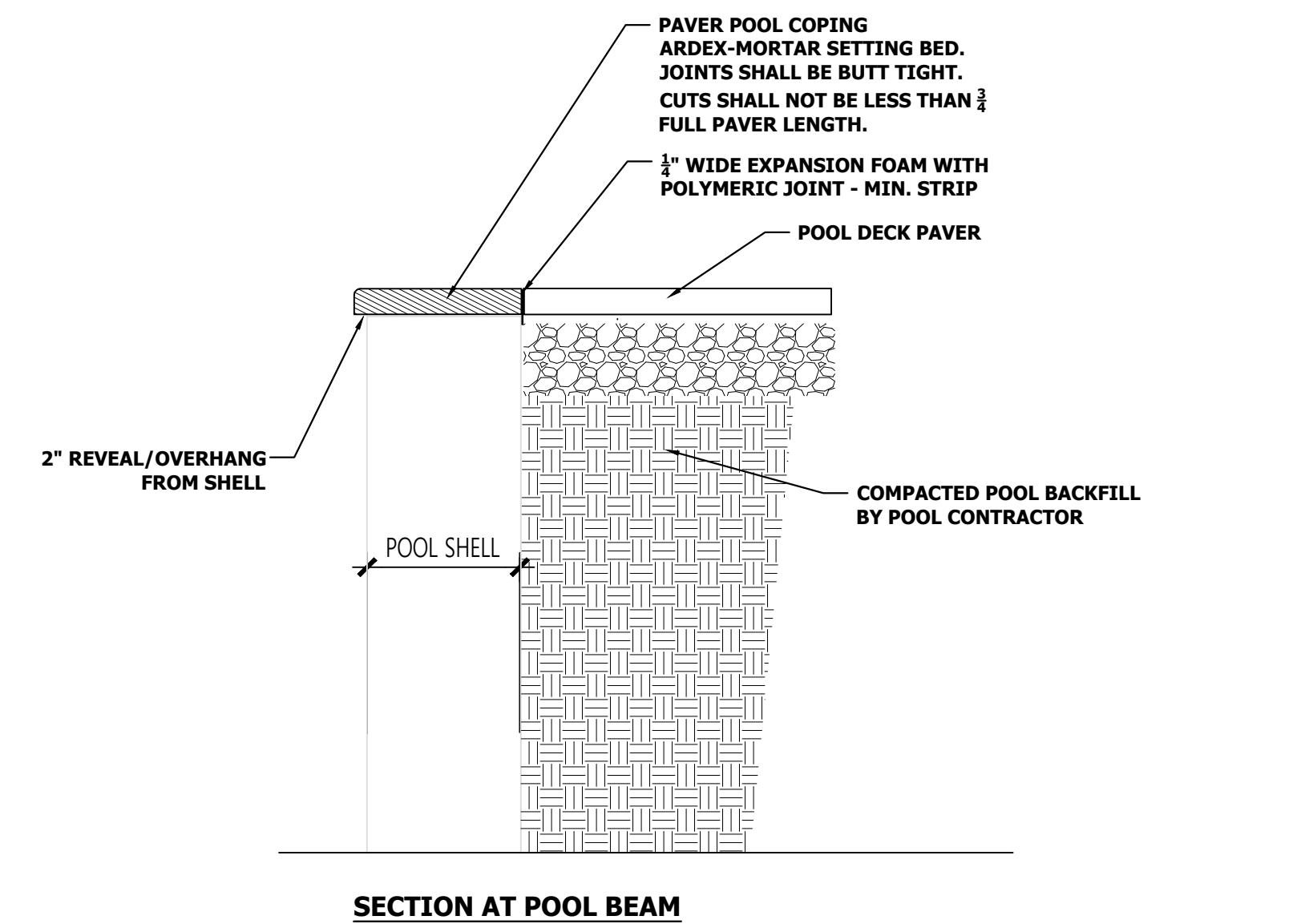
A. DECIDUOUS TREES UNDER 3" CALIPER.  
B. DECIDUOUS TREES 3"-4 1/2" CALIPER WHEN PLANTED WITHIN 10' OF PEDESTRIAN WAYS.  
C. EVERGREEN TREES UNDER 8' IN HEIGHT.  
D. EVERGREEN TREES 8'-16' IN HEIGHT WHEN PLANTED WITHIN 10' OF PEDESTRIAN WAYS.

**GUYING DETAIL**

FOR USE WITH:

A. DECIDUOUS TREES 3"-4 1/2" CALIPER WHEN PLANTED GREATER THAN 10' OUTSIDE OF PEDESTRIAN WAYS.  
B. DECIDUOUS TREE OVER 4 1/2" CALIPER.  
C. EVERGREEN TREES 8'-16' IN HEIGHT WHEN PLANTED GREATER THAN 10' OUTSIDE OF PEDESTRIAN WAYS.  
D. EVERGREEN TREES OVER 16' IN HEIGHT.

**5 UPPER AREA- TREE PLANTING DETAIL**  
SCALE: N.T.S.



**3 POOL COPING**  
SCALE: N.T.S.

**7 PERIMETER FENCING - WATERSIDE**  
SCALE: N.T.S.

ISSUE DATE	DESCRIPTION
DATE	DESCRIPTION

REVISIONS	REFERENCE
DATE	REFERENCE



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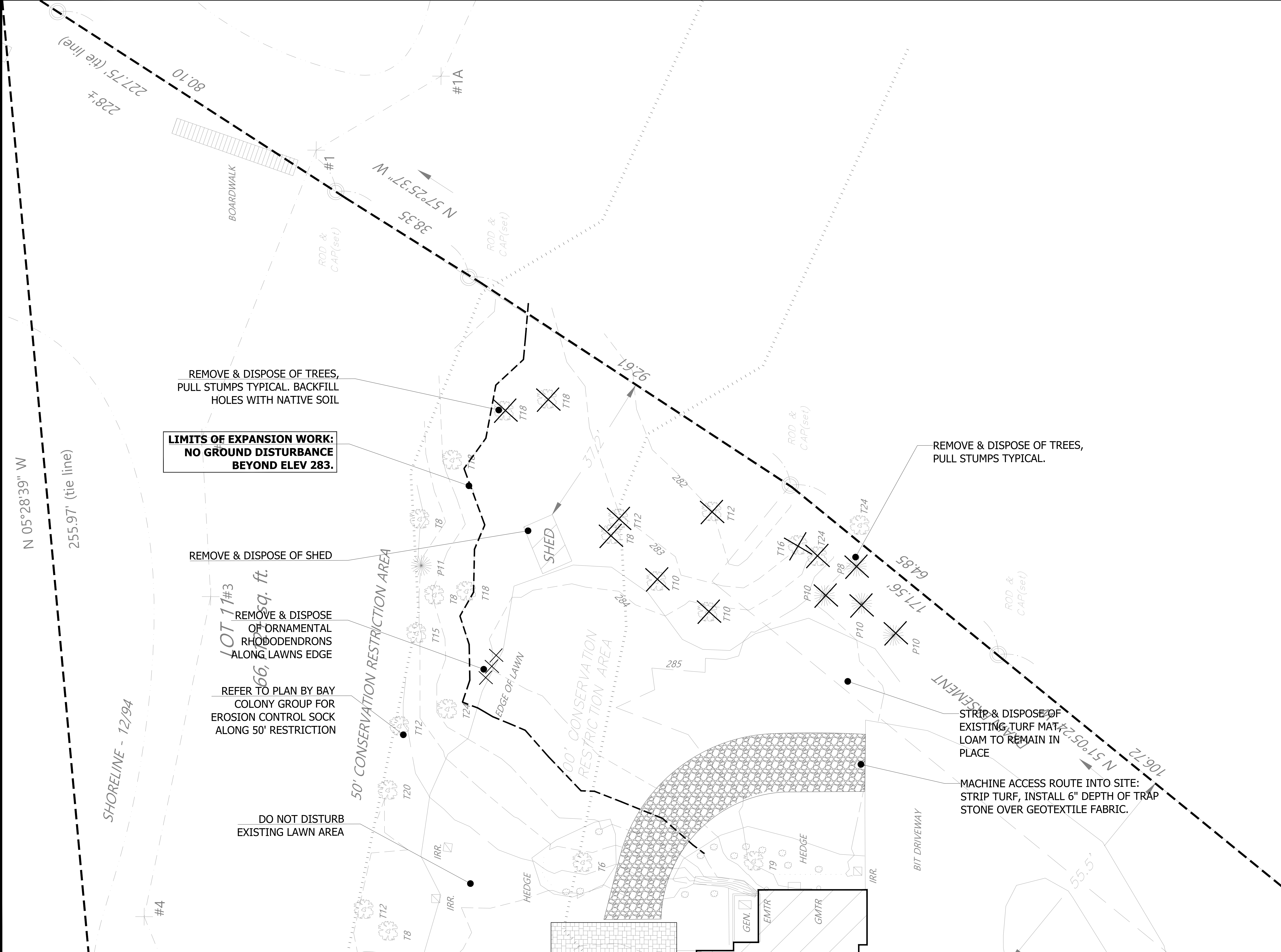




**IVY STUDIO**  
*Luxury Outdoor Living*

CONSTRUCTION DRAWINGS

**EXPANDED UPPER  
 YARD - DEMO**



**LIMITS OF EXPANSION WORK:  
 NO GROUND DISTURBANCE  
 BEYOND ELEV 283.**

REMOVE & DISPOSE OF SHED

REMOVE & DISPOSE  
 OF ORNAMENTAL  
 RHODODENDRONS  
 ALONG LAWNS EDGE

REFER TO PLAN BY BAY  
 COLONY GROUP FOR  
 EROSION CONTROL SOCK  
 ALONG 50' RESTRICTION

DO NOT DISTURB  
 EXISTING LAWN AREA

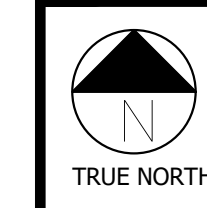
REMOVE & DISPOSE OF TREES,  
 PULL STUMPS TYPICAL.

STRIP & DISPOSE OF  
 EXISTING TURF MAT.  
 LOAM TO REMAIN IN  
 PLACE

MACHINE ACCESS ROUTE INTO SITE:  
 STRIP TURF, INSTALL 6" DEPTH OF TRAP  
 STONE OVER GEOTEXTILE FABRIC.

ISSUE DATE  
 DATE DESCRIPTION

REVISIONS  
 DATE REFERENCE



SCALE: 1"=10'

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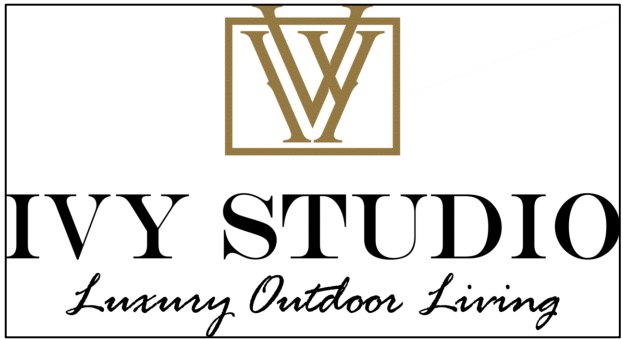
14 ALICE BRADLEY LANE  
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PROJECT NO.:  
 DRAWN BY: JM

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**L-4.00**

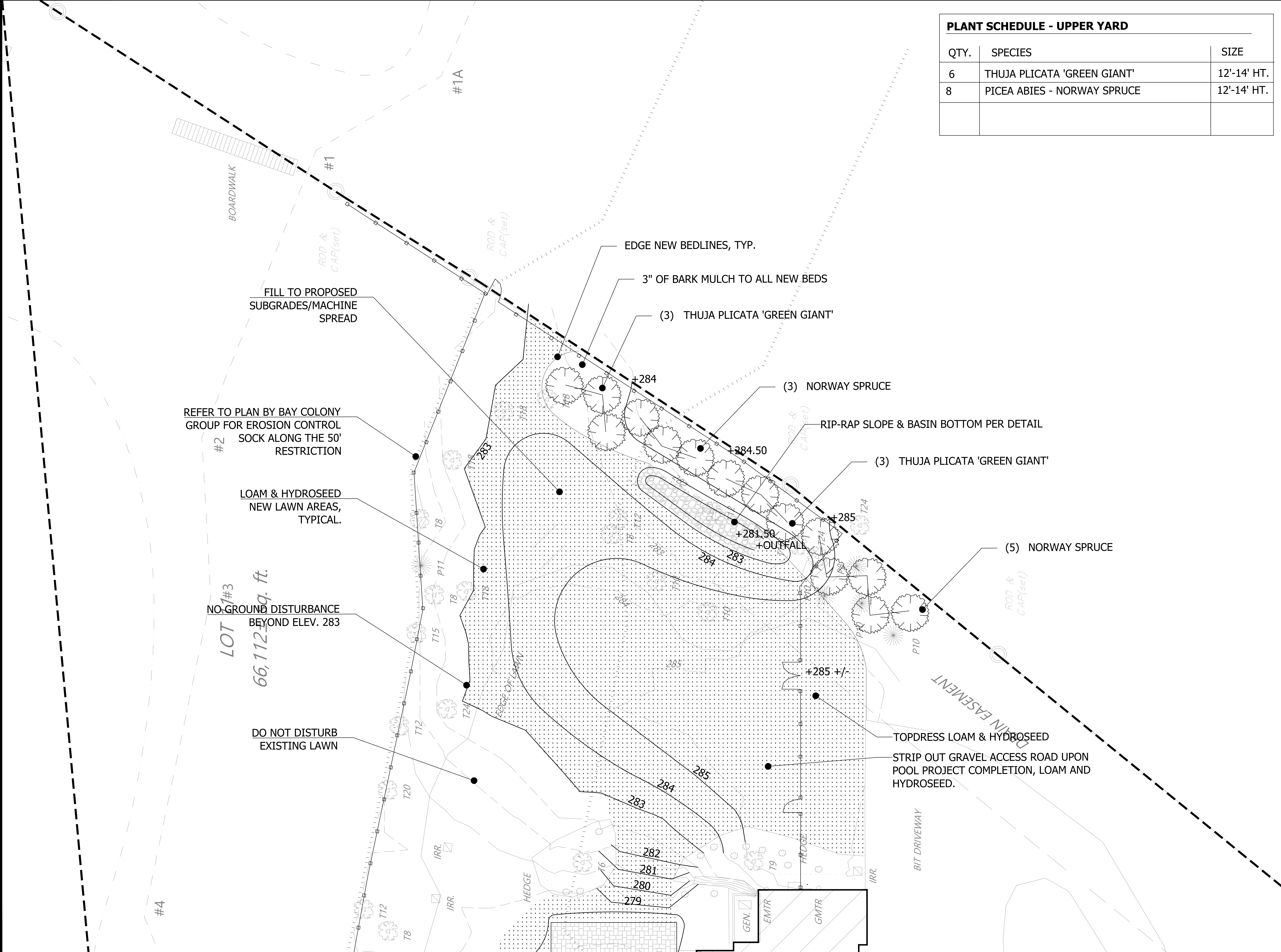


PLANT SCHEDULE - UPPER YARD		
QTY.	SPECIES	SIZE
6	THUJA PLICATA 'GREEN GIANT'	12'-14' HT.
8	PICEA ABIES - NORWAY SPRUCE	12'-14' HT.



CONSTRUCTION DRAWINGS

EXPANDED UPPER YARD - PLAN



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