



# WALNUT STREET AFFORDABLE HOUSING COMPREHENSIVE PERMIT SET - JANUARY 12, 2023

| ZONING TABLE                 |        |                   |             |
|------------------------------|--------|-------------------|-------------|
| DIMENSIONAL REGULATIONS      | R-40   | R-15 MULTI-FAMILY | PROPOSED    |
| MIN. LOT AREA (SF)           | 40,000 | 1,238,875         | 678,308 +/- |
| MIN. LOT FRONTAGE (FT)       | 200    | 125               | 882.56 +/-  |
| MIN. FRONT YARD SETBACK (FT) | 35     | 50                | 113.2 +/-   |
| MIN. SIDE YARD SETBACK (FT)  | 25     | 25                | 140.7 +/-   |
| MIN. REAR YARD SETBACK (FT)  | N/A    | N/A               | N/A         |
| MAX. BUILDING HEIGHT (FT)    | 35     | 35                | 51 *        |
| MIN. LOT WIDTH               | 134    | 67                | 818.21 +/-  |

\* SPECIAL PERMIT REQUIRED

### PARKING CALCULATIONS

PARKING REQUIRED: 2 SPACES PER DWELLING UNIT PLUS 1 VISITOR SPACE FOR EVERY 4 UNITS (PER LOCAL ZONING)

TOTAL UNIT COUNT = 200 UNITS

PARKING REQUIRED = 200 UNITS \* 2 SPACES = 400 SPACES  
 VISITORS PARKING REQUIRED = 200 UNITS \* 1 VISITORS SPACE / 4 UNITS = 50 VISITOR SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 450 SPACES  
 TOTAL PARKING PROVIDED = 206 SPACES + 15 VISITORS SPACES = 221 SPACES

H.P. SPACES REQUIRED = 7 H.P. SPACES  
 H.P. SPACES PROVIDED = 12 H.P. SPACES  
 PARKING TO UNIT RATIO: 1.11

| IMPERVIOUS COVERAGE AND OPEN SPACE DATA |           |                    |
|---|-----------|--------------------|
|   | AREA (SF) | TRACT COVERAGE (%) |
| BUILDINGS                               | 71,865    | 10.6%              |
| VEHICULAR IMPERVIOUS                    | 100,275   | 14.8%              |
| SW / HARDSCAPE IMPERVIOUS               | 42,213    | 6.2%               |
| TOTAL IMPERVIOUS                        | 214,353   | 31.6%              |
| OPEN SPACE                              | 463,955   | 68.4%              |

### INDEX OF DRAWINGS

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| C503  | DETAILS   |
| C504  | DETAILS   |
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|           |                        |
|-----------|------------------------|
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|               |                                       |
|---------------|---------------------------------------|
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| A1.02-2       | BUILDING 2 - FLOOR PLAN - LEVEL TWO   |
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| BUILDING DEVELOPMENT SUMMARY                                      |  |   |                     |  |                        |                     |  |                        |
|---|--|---|---------------------|--|------------------------|---------------------|--|------------------------|
| BUILDING 1 - DEVELOPMENT SUMMARY<br>TYPE: MULTIFAMILY RESIDENTIAL |  | BUILDING 2 - DEVELOPMENT SUMMARY<br>TYPE: MULTIFAMILY RESIDENTIAL |                     | BUILDING 3 - DEVELOPMENT SUMMARY<br>TYPE: MULTIFAMILY RESIDENTIAL  |                        |                     |  |                        |
| BUILDING 1 FOOTPRINT: 25,318 GSF                                  |  | BUILDING 2 FOOTPRINT: 26,675 GSF                                  |                     | BUILDING 3 FOOTPRINT: 19,850 GSF                                   |                        |                     |  |                        |
| <b>FIRST FLOOR</b>  | 25,318 GSF FLOOR AREA<br>15,215 SF RESIDENTIAL<br>2,572 SF AMENITY & MGMT OFFICE | (19) 1-BR UNITS   | <b>FIRST FLOOR</b>  | 26,675 GSF FLOOR AREA<br>17,700 SF RESIDENTIAL<br>1,880 SF AMENITY | (24) 1-BR UNITS        | <b>FIRST FLOOR</b>  | 19,850 GSF FLOOR AREA<br>14,710 SF RESIDENTIAL<br>650 SF AMENITY | (19) 1-BR UNITS        |
| <b>SECOND FLOOR</b>   | 21,271 GSF FLOOR AREA<br>16,972 SF RESIDENTIAL<br>592 SF AMENITY                 | (21) 1-BR UNITS   | <b>SECOND FLOOR</b> | 27,095 GSF FLOOR AREA<br>22,158 SF RESIDENTIAL<br>950 SF AMENITY   | (28) 1-BR UNITS        | <b>SECOND FLOOR</b> | 19,950 GSF FLOOR AREA<br>16,165 SF RESIDENTIAL<br>870 SF AMENITY | (20) 1-BR UNITS        |
| <b>THIRD FLOOR</b>  | 21,271 GSF FLOOR AREA<br>16,972 SF RESIDENTIAL<br>592 SF AMENITY                 | (21) 1-BR UNITS   | <b>THIRD FLOOR</b>  | 27,095 GSF FLOOR AREA<br>22,158 SF RESIDENTIAL<br>950 SF AMENITY   | (28) 1-BR UNITS        | <b>THIRD FLOOR</b>  | 19,950 GSF FLOOR AREA<br>16,165 SF RESIDENTIAL<br>870 SF AMENITY | (20) 1-BR UNITS        |
| <b>TOTAL AREA</b>   | <b>67,860 GSF</b>  | <b>(61) 1-BR UNITS</b>  | <b>TOTAL</b>        | <b>80,865 GSF</b>  | <b>(80) 1-BR UNITS</b> | <b>TOTAL</b>        | <b>59,750 GSF</b>  | <b>(59) 1-BR UNITS</b> |

## Walnut Street Affordable Housing

BUILDING 2

FOXBOROUGH, MA 02035

PROJECT

The Walnut Street Joint Venture Group

536 GRANITE ST  
 BRAINTREE, MA 02184  
 P 000 000.0000 F 000 000.0000

OWNER

## utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
 BOSTON, MA 02111  
 P 617 423.7200 F 617 423.1414  
 utilidesign.com

ARCHITECT

### Weston + Sampson

85 DEVONSHIRE STREET, THIRD FLOOR  
 BOSTON, MA 02109  
 P 978 532.1900

CIVIL & LANDSCAPE

### BF&A

17 BRIAN ROAD  
 LANCASTER, MA 01523  
 P 978 870.5674

CODE

### BLW ENGINEERS

311 GREAT ROAD  
 P.O. BOX #1551  
 LITTLETON, MA 01460  
 P 978 964.5477

M/E/P/FP

### KALIN ASSOCIATES

1121 WASHINGTON STREET  
 NEWTON, MA 02465  
 P 617 964.5477

SPECIFICATIONS

### RSE ASSOCIATES

63 PLEASANT STREET  
 WATERTOWN, MA 02472  
 P 617 926.9300

STRUCTURAL



STAMP

| DATE       | REVISION    |
|------------|-------------|
| 12/09/2022 | Pricing Set |

### REVISIONS ON SHEET

| SCALE        | UTILITE PROJECT NUMBER |
|--------------|------------------------|
| As indicated | 2212                   |

COVER SHEET

# GO.00



## GENERAL NOTES

- TOPOGRAPHICAL INFORMATION BASED UPON A PLAN ENTITLED "EXISTING CONDITIONS PLAN" BY BAY COLONY GROUP DATED MAY 25,2002.
- REFER TO EXISTING CONDITIONS FOR SURVEY LEGEND. ALL BIDDERS ARE REQUIRED TO INSPECT THE PROJECT SITE IN ITS ENTIRETY PRIOR TO SUBMITTING THEIR BID, AND BECOME FAMILIAR WITH ALL CONDITIONS AS THEY MAY AFFECT THEIR BID. CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING THE CONSTRUCTION.
- LOCATIONS OF ANY UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF SUCH UTILITIES, PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO EXCAVATION.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY OWNER AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
- ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR ON "AS-BUILT" DRAWINGS.
- ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS OUTSIDE THE PROJECT LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
- ALL WORK SHOWN ON THE PLANS AS BOLD SHALL REPRESENT PROPOSED WORK. THE TERM "PROPOSED" (PROP) INDICATES WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET" (R&R), OR REMOVE, RELOCATE, RESET, (R,R&R).
- ALL KNOWN EXISTING STATE, COUNTY AND TOWN LOCATION LINES AND PRIVATE PROPERTY LINES HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND ARE INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS, INCLUDING BUT NOT LIMITED TO, THE ERECTION OF TEMPORARY WALKS, STRUCTURES, PROTECTIVE BARRIERS, COVERING, OR FENCES AS NEEDED.
- THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA "COMPETENT PERSON" PRIOR TO CONSTRUCTION.
- FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE OWNER.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO GUYS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
- TREES AND SHRUBS WITHIN THE LIMITS OF WORK SHALL BE REMOVED ONLY UPON THE APPROVAL OF THE ENGINEER OR AS NOTED ON THE PLANS.
- THE CONTRACTOR SHALL CALL DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER PRIOR TO EXCAVATION.
- NO FILLING SHALL OCCUR AROUND EXISTING TREES TO REMAIN WITHOUT THE APPROVAL OF THE OWNER OR OWNER REPRESENTATIVE.
- THE CONTRACTOR SHALL REMOVE ALL SURFACE VEGETATION PRIOR TO GRADING THE SITE. STUMPS SHALL BE STOCKPILED ON SITE FOR DISPOSAL BY THE GC. TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS (INCLUDING SILT FENCE, STRAW WATTLES, OR SILT SOCKS) SHALL BE INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE PROJECT WHICH COST SHALL BE INCIDENTAL TO THE PROJECT.
- ALL UNSUITABLE UNCONTAMINATED EXCESS SOIL FROM CONSTRUCTION ACTIVITIES SHALL BE STOCKPILED ON SITE, AS DIRECTED BY THE OWNER, AT NO ADDITIONAL COST TO THE OWNER. REMOVAL ACTIVITIES SHALL BE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS AT NO ADDITIONAL COST TO THE OWNER. SUITABLE SOIL EXCAVATION AS PART OF THE PROJECT MUST MEET ONE OR MORE OF THE MATERIAL REQUIREMENTS SPECIFIED IN THE GEOTECHNICAL REPORT. ON-SITE FILL MATERIALS, WHICH DO NOT CONFORM TO THE GEOTECHNICAL REPORT, SHALL NOT BE USED FOR STRUCTURES. IF THE CONTRACTOR PROPOSES TO USE THE EXISTING FILL ON SITE BELOW PAVEMENT AREAS, HE MUST DEMONSTRATE THAT THE FILL MEETS THE REQUIREMENTS OF THE GEOTECHNICAL REPORT. ALL EXCAVATED FILL MATERIAL, WHICH DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT NO ADDITIONAL COST.
- CONTRACTOR IS RESPONSIBLE FOR STAKING CONSTRUCTION BASELINES IN FIELD. NO CONSTRUCTION WILL BE PERFORMED WITHOUT THE PROPOSED BASELINES AND LAYOUTS APPROVED BY THE ENGINEER.
- NO FILL SHALL CONTAIN HAZARDOUS MATERIALS.
- CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND PERIMETER OF WORK AREA (LIMIT OF WORK). FENCE SHALL NOT IMPEDIE TRAVEL WAYS.
- ANY QUANTITIES SHOWN ON PLANS ARE FOR COMPARATIVE BIDDING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE PROJECT SITE TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO SUBMITTING BID.
- ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL, SEDIMENT, DEBRIS AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES, INCLUDING BUT NOT LIMITED TO, DRAINAGE INLETS, MANHOLES AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK FOR THE ENTIRE DURATION OF CONSTRUCTION.
- CONTRACTOR'S STAGING AREA MUST BE WITHIN THE CONTRACT LIMIT LINE AND IN AREAS APPROVED BY OWNER. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.
- THE CONTRACTOR SHALL KEEP ALL STREETS, PARKING LOTS AND WALKS THAT ARE NOT RESTRICTED FROM PUBLIC USE DURING CONSTRUCTION BROOM CLEAN AT ALL TIMES. THE CONTRACTOR SHALL USE ACCEPTABLE METHODS AND MATERIALS TO MAINTAIN ADEQUATE DUST CONTROL THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER.
- CONTRACTOR SHALL DEWATER AS NECESSARY TO PERFORM THE PROPOSED WORK. CONTRACTOR SHALL BE AWARE OF PERCHED GROUNDWATER. (SEE GEOTECHNICAL REPORT).
- THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PRIOR TO THE START OF SITE CLEARING OR CONSTRUCTION.
- DEEP SUMP CATCH BASINS SHALL BE CLEANED FOLLOWING CONSTRUCTION AND SHALL FOLLOW THE OPERATION AND MAINTENANCE PLAN THEREAFTER.
- HAULING OF EARTH MATERIALS TO AND FROM THE SITE SHALL BE RESTRICTED TO THE HOURS OF 7:00 AM TO 9:00 PM MONDAY THROUGH SATURDAY.
- ANY Boulders 3 CY OR SMALLER SHALL BE CONSIDERED UNDOCUMENTED FILL AND SHALL BE DISPOSED OF AT NO ADDITIONAL COST TO THE OWNER.
- THE TERM "AS DIRECTED" AS USED IN THE CONTRACT DRAWINGS SHALL BE REPLACED WITH "AS REQUIRED".
- GROUNDWATER WAS OBSERVED AT THE FOLLOWING ELEVATIONS:

## EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION. REFER TO PLAN FOR APPROXIMATE LOCATION OF EROSION AND SEDIMENT CONTROL. REFER TO SPECS AND DETAILS FOR TYPE OF EROSION AND SEDIMENT CONTROL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL MEET ALL OF THE STATE OF MASSACHUSETTS D.E.P. AND THE TOWN OF FOXBOROUGH WETLAND ORDINANCE REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
- EXCAVATED MATERIAL STOCKPILED ON THE SITE SHALL BE SURROUNDED BY A RING OF UNBROKEN SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
- ALL CATCH BASINS AND DRAIN GRATES WITHIN LIMIT OF CONTRACT SHALL BE PROTECTED WITH FILTER FABRIC DURING THE ENTIRE DURATION OF CONSTRUCTION.
- EROSION CONTROL BARRIERS TO BE INSTALLED AT THE TOE OF SLOPES. SEE SITE PREPARATION PLAN, NOTES, DETAILS AND SPECIFICATIONS.
- ANY AREA OUTSIDE THE PROJECT LIMIT THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC/Private ROADS.

## DEMOLITION & SITE PREPARATION NOTES

- THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION, DEMOLITION AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.
- THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL ALLOW ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.
- UNLESS SPECIFICALLY NOTED TO BE SAVED / STOCKPILED (R&S) OR REUSED / RELOCATED (R&R), ALL SITE FEATURES CALLED FOR REMOVAL (REM) SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC., TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.
- ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
- DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN. OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
- IT SHALL BE THE CONTRACTOR'S OPTION, WITH CONCUERRENCE OF THE OWNER, TO REUSE EXISTING GRAVEL IF IT MEETS THE REQUIREMENTS OF THE SPECIFICATIONS FOR GRAVEL BORROW.
- ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.
- "CLEAR AND GRUB VEGETATION" SHALL INCLUDE REMOVAL OF GRASS, SHRUBS, AND UNDERBRUSH, REMOVAL OF ROOTS, ROUGH GRADING, INSTALLATION OF LOAM (IF APPLICABLE), FINE GRADING, SEEDING AND TURF ESTABLISHMENT BY THE CONTRACTOR.
- TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS.
- LOAM / TOP SOIL DESIGNATED FOR REUSE AS GENERAL FILL SHALL BE BLENDED WITH SUITABLE BORROW MATERIAL AS SPECIFIED.
- THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN. CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIER AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.

## LAYOUT & MATERIALS NOTES

- REFER TO "ALTANSPS LAND TITLE SURVEY" PLANS BY CONTROL POINT ASSOCIATES, INC. FOR SURVEY INFORMATION (SHEETS 1 OF 7 THROUGH 7 OF 7) (SHEETS V101-V107 IN THIS PLAN SET).
- COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS REQUIRED BY THE OWNER'S REPRESENTATIVE.
- ALL WORK SHALL BE PERFORMED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED THAT THE WORK WILL BE PERFORMED "BY OTHERS".
- TO FACILITATE LAYOUT OF PROPOSED SITE FEATURES AND FACILITIES, LAYOUT INFORMATION FOR CERTAIN FUTURE WORK, WHICH IS NOT INCLUDED WITHIN THE SCOPE OF THIS CONTRACT HAS BEEN PROVIDED ON THE LAYOUT AND MATERIALS PLAN FOR INFORMATION ONLY. THE LAYOUT OF SITE AMENITIES AND FENCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. SOME ITEMS ARE "NOT IN CONTRACT" (NIC) AND SHOWN FOR REFERENCE ONLY.
- THE LAYOUT OF SITE AMENITIES AND FENCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- THE LAYOUT OF ALL NEW PATHWAYS / WALKWAYS AND THE GRADING OF ALL SLOPES AND CROSS SLOPES SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS RULES AND REGULATIONS FOR HANDICAP ACCESS CMR 821, AND THE AMERICANS WITH DISABILITIES ACT (ADA), TITLE 3. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE REQUIRED.
- ALL LAYOUT LINES, OFFSETS, OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL OR PERPENDICULAR UNLESS OTHERWISE DESIGNATED WITH ANGLE OFFSETS NOTED.
- ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
- ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT SURFACES AND SHALL BE TREATED WITH AN RS-1 TACK COAT AT POINT OF CONNECTION. ALL PATHWAY WIDTHS SHALL BE AS NOTED ON THE LAYOUT AND MATERIALS PLAN.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENT OF ALL PROPOSED FENCES AND GATES.
- THE DEPTH OF LOAM BORROW FOR ALL PROPOSED LAWN AREAS SHALL BE 6" MINIMUM. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED.
- ALL REFERENCES TO LOAM AND SEED (L&S) REFER TO HYDROMULCH SEEDED LAWN.
- REFER TO DETAIL DRAWINGS FOR CONSTRUCTION DETAILS.

## GRADING, UTILITIES & DRAINAGE NOTES

- ALL WORK RELATING TO INSTALLATION, RENOVATION OR MODIFICATION OF WATER, DRAINAGE AND/OR SEWER SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE TOWN OF FOXBOROUGH.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
- ALL GRADING IS TO BE SMOOTH AND CONTINUOUS WHERE PROPOSED GRAVEL SURFACE MEETS EXISTING SURFACE. BLEND THE TWO PAVEMENTS AND ELIMINATE ROUGH SPOTS AND ABRUPT GRADE CHANGES AND MEET LINE AND GRADE OF EXISTING CONDITIONS WITH NEW IMPROVEMENTS.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE (1.5% MINIMUM) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
- CONTRACTOR SHALL ENSURE ALL AREAS ARE PROPERLY PITCHED TO DRAIN, WITH NO SURFACE WATER PONDING OR PUDDLING.
- ALL NEW WALKWAYS / ACCESS PATHS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS. WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF PERCENT (1.5%) AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) BETWEEN 1% MIN. AND 5% MAX.
- MINIMUM SLOPE ON ALL WALKWAYS WILL BE 1:100 OR 1% TO PROVIDE POSITIVE DRAINAGE. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.
- ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
- THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/Private STREETS AND WORK AREAS. CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT.
- EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
- WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
- RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED (L&S) UNLESS OTHERWISE NOTED.
- SEE GEOTECHNICAL REPORT FOR SPECIFIC EXCAVATION AND FILLING PROCEDURES.
- FOR STRUCTURE REMODELING (REMOD), CONSTRUCTION METHODS SHALL FOLLOW MASSACHUSETTS DOT STANDARD SPEC. LATEST EDITION (SECTION 220)

## ABBREVIATIONS

### GENERAL

PROP  
ADJ  
BLDG  
BIT, CONC.  
CEM. CONC.  
B  
N.T.S.  
B.M.  
ABAN  
MB  
GRAN CURB  
EXIST.  
(OR EX.)  
F.M.  
F.L.  
(OR F)  
P  
P/MT  
P.W.W.  
RC  
M.H.B.  
REM  
REMOD  
RET  
R.O.W.  
R&R  
R&S  
R&D  
SB  
NIC  
H.C.  
WCR  
FF  
HMA  
G.C.  
E.C.  
P.C.  
SWEL  
BWLL  
SYEL  
SBDH  
CLF  
TEMP.  
TYPICAL  
EQ  
H.C.  
EDGE OF PAVEMENT  
PROT  
CTE  
RL  
L.O.W.  
VIP  
APPROX.  
TBM  
ALT.

### UTILITIES

GICI  
CBCI  
COT  
C.I.T.  
CTE  
F&C  
F&C  
CI  
CIP  
CMP  
DI  
GI  
ACCM PIPE  
HYD  
INV. ELEV.  
UP  
SMH  
WG  
DS  
HDPE  
PVC  
RCP  
DMH  
LB  
LG  
CI  
OCS  
OGT  
VC  
LP  
OHW  
UPLP  
SWTU  
HH  
GW  
CO  
LC  
GALV.  
F&I  
BGS

### ALIGNMENT/GRADING

BW  
BC  
PI  
PC  
PT  
PRC  
PCC  
PVI  
PVC  
PVT  
ELEV  
CC  
H.P.  
L.P.  
R  
STA  
S.S.D.  
TO  
TW

PROPOSED  
ADJ  
BUILDING  
BITUMINOUS CONCRETE  
CEMENT CONCRETE  
BASELINE  
NOT TO SCALE  
B.M.  
ABANDON  
MAIL BOX  
GRANITE CURB

EXISTING  
FOUNDATION  
FLOW LINE  
PROPERTY LINE  
PAVEMENT  
PAVED WATERWAY  
REINFORCED CONCRETE  
MASSACHUSETTS HIGHWAY BOUND  
REMOVE  
REMODEL  
RETAIN  
RIGHT-OF-WAY  
REMOVE AND RESET  
REMOVE, RELOCATED AND RESET  
REMOVE AND STACK  
REMOVE AND DISPOSE  
STONE BOUND  
NOT IN CONTRACT  
H.C.  
WHEELCHAIR RAMP  
FINISHED FLOOR  
HOT MIX ASPHALT  
GENERAL CONTRACTOR  
ELECTRICAL CONTRACTOR  
PLUMBING CONTRACTOR  
SOLID WHITE EDGE LINE  
BROKEN WHITE EDGE LINE  
SOLID YELLOW EDGE LINE  
STONE BOUND DRILL HOLE  
CHAIN LINK FENCE  
TEMPORARY  
TYPICAL  
EQUIPMENT  
HANDICAP  
EDGE OF PAVEMENT  
PROTECT  
CONNECT TO EXISTING  
GRID LEADER  
LIMIT OF WORK  
VERIFY IN FIELD  
APPROXIMATE  
TEMPORARY BENCHMARK  
ALTERNATE

### UTILITIES

GUTTER INLET W/ CURB INLET  
CATCH BASIN W/ CURB INLET  
CATCH BASIN  
CHANGE IN TYPE  
CONNECT TO EXISTING  
FRAME AND GRIFF  
CURB INLET  
CAST IRON PIPE  
CORRUGATED METAL PIPE  
DUCTILE IRON PIPE  
GUTTER INLET  
ASPHALT COATED CORRUGATED METAL PIPE  
HYDRANT  
INVERT ELEVATION  
UTILITY POLE  
UTILITY POLE  
SEWER MANHOLE  
WATER GATE  
DOWN SPOUT  
HIGH DENSITY POLYETHYLENE PIPE  
POLYVINYL CHLORIDE  
REINFORCED CONCRETE PIPE  
DRAIN MANHOLE  
LEACHING BASIN  
LEACHING GALLEY  
CAST IRON  
OUTLET CONTROL STRUCTURE  
OIL AND GRIT TRAP  
VITRIFIED CLAY PIPE  
LIGHT POLE  
OVERHEAD WIRE  
UTILITY POLE WITH LIGHT  
STORM WATER TREATMENT UNIT  
HANDHOLE  
GARAGE WASTE  
CLEANOUT  
LEACHING CHAMBER  
GATE VALVE  
GALVANIZED  
FURNISH & INSTALL  
BELOW GRADE SURFACE

### ALIGNMENT/GRADING

BOTTOM OF WALL  
BOTTOM OF CURB  
POINT OF INTERSECTION  
POINT OF CURVATURE  
POINT OF TANGENCY  
POINT OF REVERSE CURVATURE  
POINT OF COMPOUND CURVATURE  
POINT OF VERTICAL INTERSECTION  
POINT OF VERTICAL CURVATURE  
POINT OF VERTICAL TANGENCY  
ELEVATION  
CENTER OF CURVE  
HIGH POINT  
LOW POINT  
RADIUS OF CURVATURE  
STATION  
STOPPING SIGHT DISTANCE  
TOP OF CURB  
TOP OF WALL

## GENERAL SYMBOLS

### EXISTING

CB  
CBCI  
HH  
EMH  
TMH  
DMH  
GC  
WC  
LP

D  
S  
E  
T  
GW  
GW  
V  
G  
W  
OHW  
OHW

### UTILITIES

GUARD RAIL  
LABEL / DATE  
NAME  
NOO'00'00"E  
WOOD FENCE  
M# # #  
TP1  
TP2  
UP 8  
FLAG POLE  
CBF

### UTILITIES

CB  
CBCI  
HH  
EMH  
TMH  
DMH  
GC  
WC  
LP

### PROPOSED

CB  
EMH  
TMH  
DMH  
GC  
WC  
LP

D  
S  
E  
T  
GW  
GW  
V  
G  
W  
OHW  
OHW

### UTILITIES

SEE PLANS  
WOOD FENCE  
M# # #  
TP1  
TP2  
UP 8  
FLAG POLE  
CBF

### UTILITIES

CB  
CBCI  
HH  
EMH  
TMH  
DMH  
GC  
WC  
LP

CATCH BASIN  
CATCH BASIN CURB INLET  
LEACHING GALLEY  
CURB (OR BERM)-TYPE NOTED  
EDGE OF ROAD  
HANDHOLE (NUMBER AS NOTED)  
ELECTRIC MANHOLE  
TELEPHONE MANHOLE  
SEWER MANHOLE  
DRAINAGE MANHOLE  
GAS GATE  
WATER GATE VALVE  
HYDRANT  
WELL  
LIGHTPOLE

DRAIN PIPE  
SEWER MAIN  
SEWER MAIN BY P.C.  
ELECTRIC DUCT  
TELEPHONE/COMMUNICATIONS/FIRE ALARM  
GARAGE WASTE LINE  
GARAGE WASTE LINE BY P.C.  
VENTS BY P.C.  
GAS MAIN  
WATER MAIN  
OVERHEAD WIRES

### UTILITIES

GUARD RAIL (SIZE AND TYPE NOTED)  
HIGHWAY / PROPERTY BOUND (TYPE NOTED)  
CITY OR TOWN OR COUNTY LAZY LINE  
CITY, TOWN OR COUNTY BOUNDARY  
BASE OR SURVEY LINE  
WHEELCHAIR RAMP (WCR)  
TREE (SIZE AND TYPE NOTED)  
FENCE (SIZE AND TYPE NOTED)  
EASEMENT LINE  
MADOT STANDARD SPECIFICATION  
REFERENCE NUMBER  
TEST PIT/BORINGS  
UTILITY POLE  
GUY POLE  
FLAG POLE  
SIGN  
TREE LINE  
BOLLARD  
BIKE RACK  
SAWCUT  
EROSION CONTROL (SPECIFIED ON PLANS)  
LIMIT OF WORK  
PHASE ONE LIMIT OF WORK  
EXISTING ROW LINE  
PROPOSED ROW LINE  
TEMPORARY FENCE  
CONCRETE BOUND FOUND  
TEMPORARY BENCHMARK (TBM)

## Walnut Street Affordable Housing

FOXBOROUGH, MA 02035  
**PROJECT**  
The Walnut Street Joint Venture Group  
536 GRANITE ST  
BRAintree, MA 02184  
P 000 000 0000 F 000 000 0000  
**OWNER**

## utile

ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617 423 7200 F 617 423 1414  
utiledesign.com  
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**Weston & Sampson**  
85 DEVONSHIRE STREET, THIRD FLOOR  
BOSTON, MA 02109  
P 978 532 1900  
**CIVIL & LANDSCAPE**

**BF&A**  
17 BRIAN ROAD  
LANCASTER, MA 01453  
P 978 870 5674  
**CODE**

**BLW ENGINEERS**  
311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978 964 5477  
**ME/P/FP**

**KALIN ASSOCIATES**  
1121 WASHINGTON STREET  
NEWTON, MA 02465  
P 617 964 5477  
**SPECIFICATIONS**

**RSE ASSOCIATES**  
63 PLEASANT STREET  
WATER TOWN, MA 02472  
P 617 926 9300  
**STRUCTURAL**

### STAMP

DATE REVISION

### REVISIONS ON SHEET

SCALE UTILE PROJECT NUMBER  
2212

## ABBREVIATIONS, NOTES, & LEGEND

C001





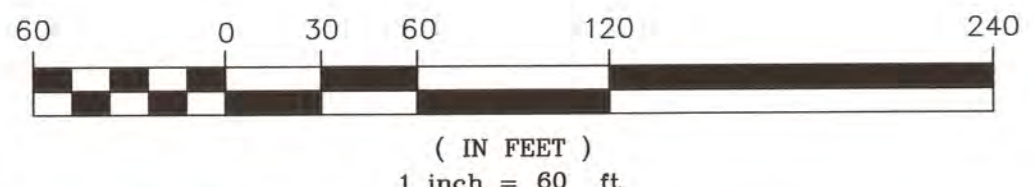
n/f  
FOXBOROUGH HOUSING AUTHORITY  
MAP 133, PARCEL 022  
BK.35424, PG.378

RAMP OFF INTERSTATE ROUTE 95  
(1982 S.H.L.O. #5293 BK.4042, PG.601)

- NOTES**
1. ELEVATIONS, IN FEET, ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88). HORIZONTAL DATUM IS BASED ON NORTH AMERICAN DATUM 1983 (NAD 83). CONTOUR INTERVAL IS 1 FOOT. SURVEY PERFORMED BETWEEN JANUARY 2020 AND MAY 2022.
  2. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM PLAN PREPARED FOR DIVISION OF CAPITAL ASSET MANAGEMENT AND MAINTENANCE, PREPARED BY: BEALS & THOMAS, DATED: JUNE 9, 2015, RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 661, PAGE 90.
  3. WETLAND FLAGS WERE PLACED BY PARE CORPORATION ON MAY 17, 2022 AND WERE LOCATED FROM AN ON THE GROUND SURVEY.

**KEY:**

|                               |                          |
|-------------------------------|--------------------------|
| HYDRANT                       | STONE WALL               |
| WATER GATE                    | ELECTRIC HAND HOLE       |
| WATER SERVICE                 | UTILITY POLE             |
| GAS GATE                      | LIGHT                    |
| DRAIN MANHOLE                 | CONC BOLLARD             |
| CATCH BASIN                   | GUY WIRE                 |
| SEWER MANHOLE                 | SIGN                     |
| EXISTING WELL                 | SLOPED GRANITE CURB      |
| UNDERGROUND TELE.             | SLOPED METAL CURB        |
| UNDERGROUND DRAIN             | VERTICAL CONCRETE CURB   |
| UNDERGROUND GAS               | REINFORCED CONCRETE PIPE |
| UNDERGROUND ELEC.             | CORRUGATED PLASTIC PIPE  |
| LEAD PLUG WITH ESCUTCHEON PIN | MAILBOX                  |
| CONCRETE BOUND WITH DRILLHOLE | TREE                     |
| STONE BOUND WITH DRILLHOLE    | PINE TREE                |
| SOLID WHITE EDGE LINE         | SOLID WHITE LANE LINE    |
| SOLID YELLOW EDGE LINE        | DASHED WHITE LANE LINE   |



**PROJECT:**  
**Walnut Street  
Foxborough  
Massachusetts**

**PREPARED FOR:**  
**Weston & Sampson  
55 Walkers Brook Drive  
Suite 100  
Reading, MA 01867**

**Bay Colony Group, Inc.**  
Professional Civil Engineers &  
Professional Land Surveyors

FOUR SCHOOL STREET  
P.O. BOX 9136  
FOXBOROUGH, MA 02035  
508-543-3939

LOCUS MAP



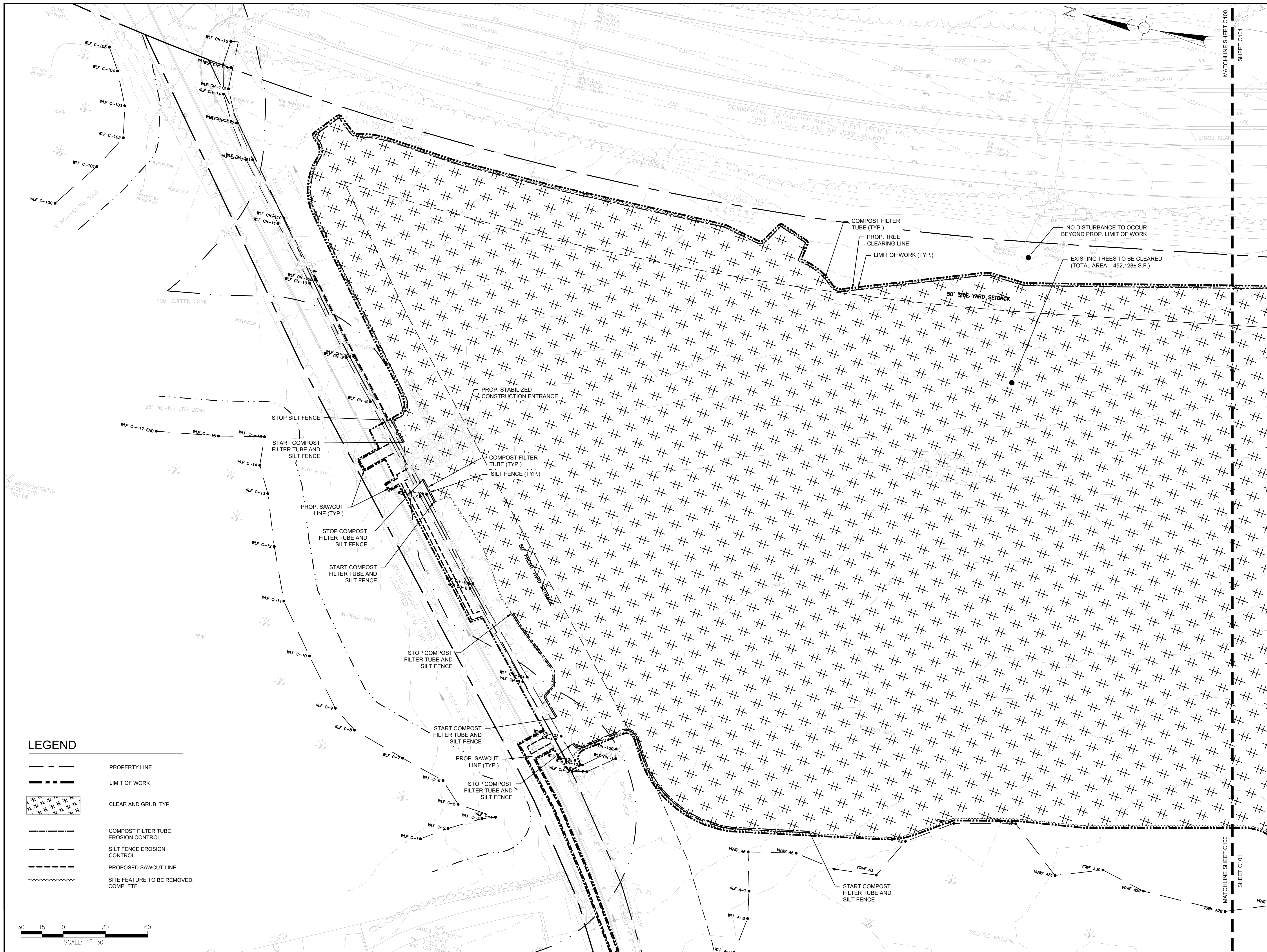
- REFERENCES**
- DEED REF:**  
BK.35424, PG.378
- PLAN REF:**  
PB.661, PG.90
- ASSESSOR'S REF:**  
MAP 133, PARCEL 023
- ZONING REF:**  
RESIDENTIAL & AGRICULTURAL (R40)



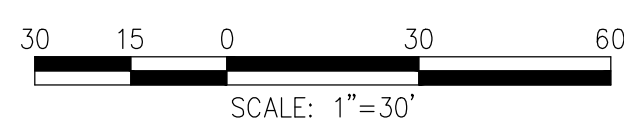
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**EXISTING  
CONDITIONS PLAN**

SCALE: 1" = 60'  
MAY 25, 2022 SHEET NUMBER  
**V101**





- LEGEND**
- PROPERTY LINE
  - - - - - LIMIT OF WORK
  - ✕✕✕✕✕ CLEAR AND GRUB, TYP.
  - COMPOST FILTER TUBE EROSION CONTROL
  - SILT FENCE EROSION CONTROL
  - PROPOSED SAWCUT LINE
  - ~~~~~ SITE FEATURE TO BE REMOVED, COMPLETE



**Walnut Street Affordable Housing**

FOXBOROUGH, MA 02035 PROJECT

The Walnut Street Joint Venture Group

536 GRANITE ST  
BRAintree, MA 02184  
P 000 000 0000 F 000 000 0000 OWNER

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P 978 870 5674 CODE

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P.O. BOX #1551  
LITTLETON, MA 01460  
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**KALIN ASSOCIATES**  
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P 617 964 5477 SPECIFICATIONS

**RSE ASSOCIATES**  
63 PLEASANT STREET  
WATERTOWN, MA 02472  
P 617 926 9300 STRUCTURAL

| DATE | REVISION |
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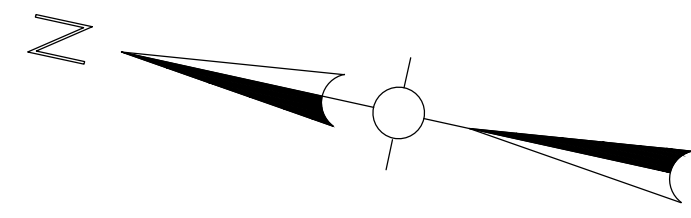
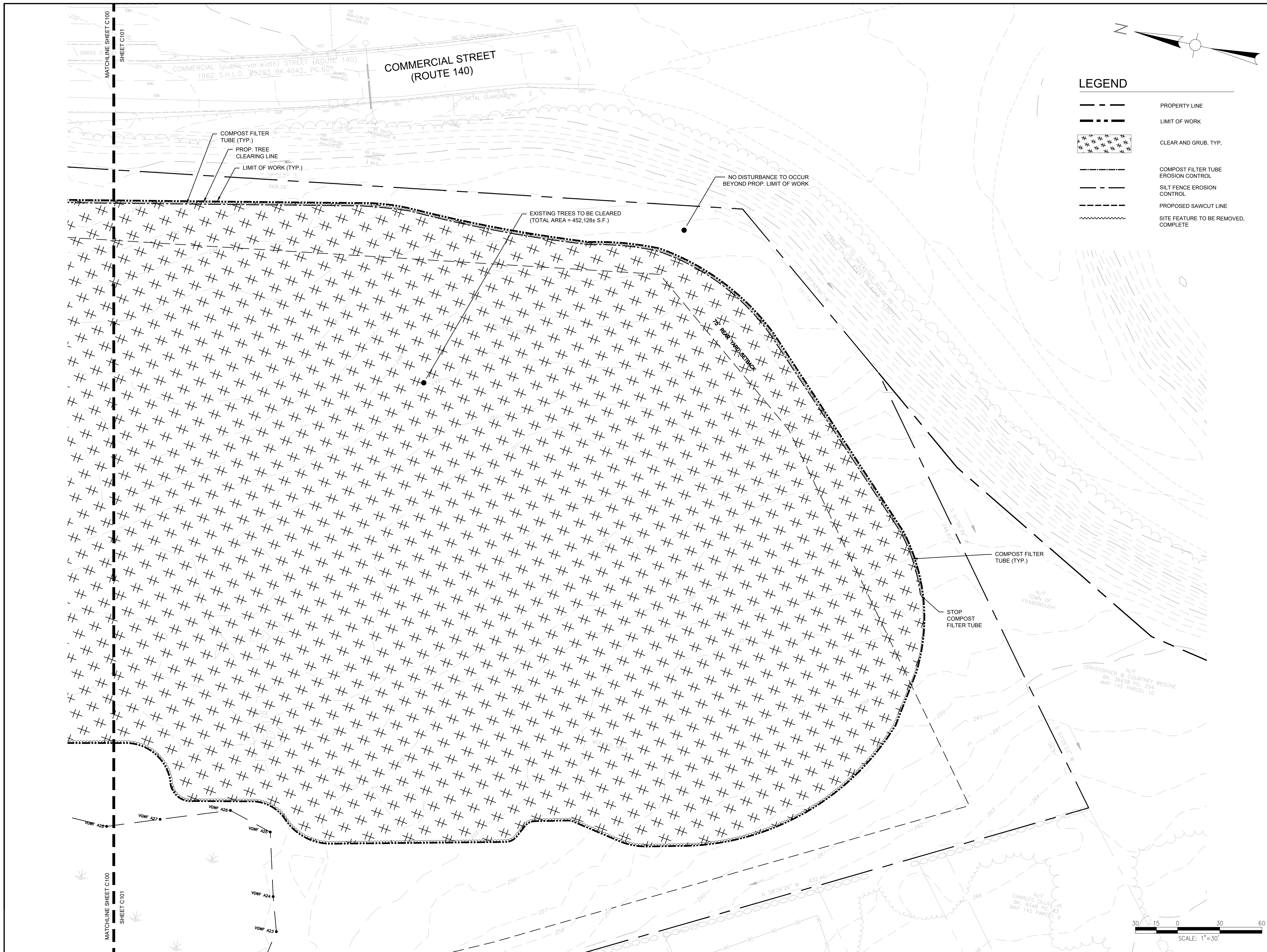
REVISIONS ON SHEET

SCALE UTILITE PROJECT NUMBER  
Z212

**EROSION, SEDIMENTATION CONTROL, & DEMOLITION PLAN (NORTH)**

**C100**





**LEGEND**

|  |                                      |
|--|--------------------------------------|
|  | PROPERTY LINE                        |
|  | LIMIT OF WORK                        |
|  | CLEAR AND GRUB, TYP.                 |
|  | COMPOST FILTER TUBE EROSION CONTROL  |
|  | SILT FENCE EROSION CONTROL           |
|  | PROPOSED SAWCUT LINE                 |
|  | SITE FEATURE TO BE REMOVED, COMPLETE |

**Walnut Street Affordable Housing**

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The Walnut Street Joint Venture Group

536 GRANITE ST  
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OWNER

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| DATE | REVISION |
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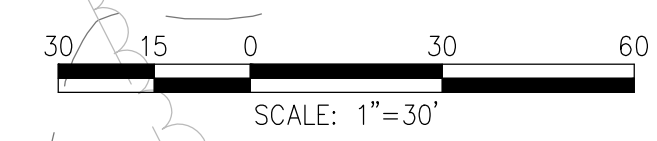
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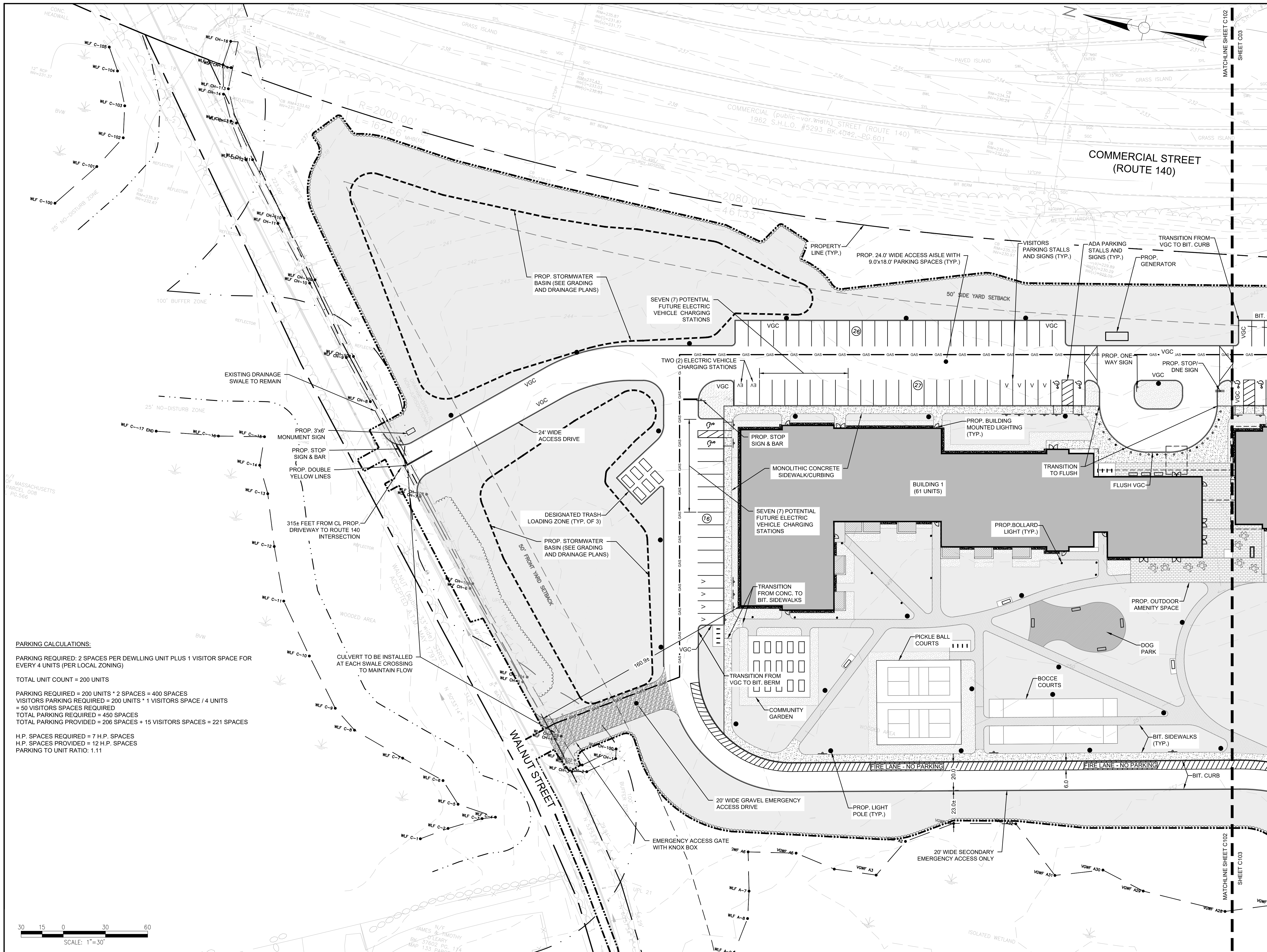
| SCALE | UTILITE PROJECT NUMBER |
|-------|------------------------|
|       | 2212                   |

**EROSION, SEDIMENTATION CONTROL, & DEMOLITION PLAN (SOUTH)**

**C101**







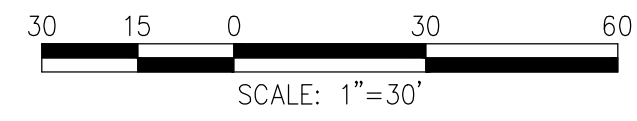
**PARKING CALCULATIONS:**

PARKING REQUIRED: 2 SPACES PER DWELLING UNIT PLUS 1 VISITOR SPACE FOR EVERY 4 UNITS (PER LOCAL ZONING)

TOTAL UNIT COUNT = 200 UNITS

PARKING REQUIRED = 200 UNITS \* 2 SPACES = 400 SPACES  
 VISITORS PARKING REQUIRED = 200 UNITS \* 1 VISITORS SPACE / 4 UNITS = 50 VISITORS SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 450 SPACES  
 TOTAL PARKING PROVIDED = 206 SPACES + 15 VISITORS SPACES = 221 SPACES

H.P. SPACES REQUIRED = 7 H.P. SPACES  
 H.P. SPACES PROVIDED = 12 H.P. SPACES  
 PARKING TO UNIT RATIO: 1.11



# Walnut Street Affordable Housing

FOXBOROUGH, MA 02035 PROJECT

The Walnut Street Joint Venture Group

536 GRANITE ST  
 BRAINTREE, MA 02184  
 P 000 000 0000 F 000 000 0000

OWNER

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 utilidesign.com

ARCHITECT

### Weston & Sampson

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 P 978 532 1900

CIVIL & LANDSCAPE

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CODE

### BLW ENGINEERS

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M/E/P/FP

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SPECIFICATIONS

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 P 617 926 9300

STRUCTURAL

DATE REVISION

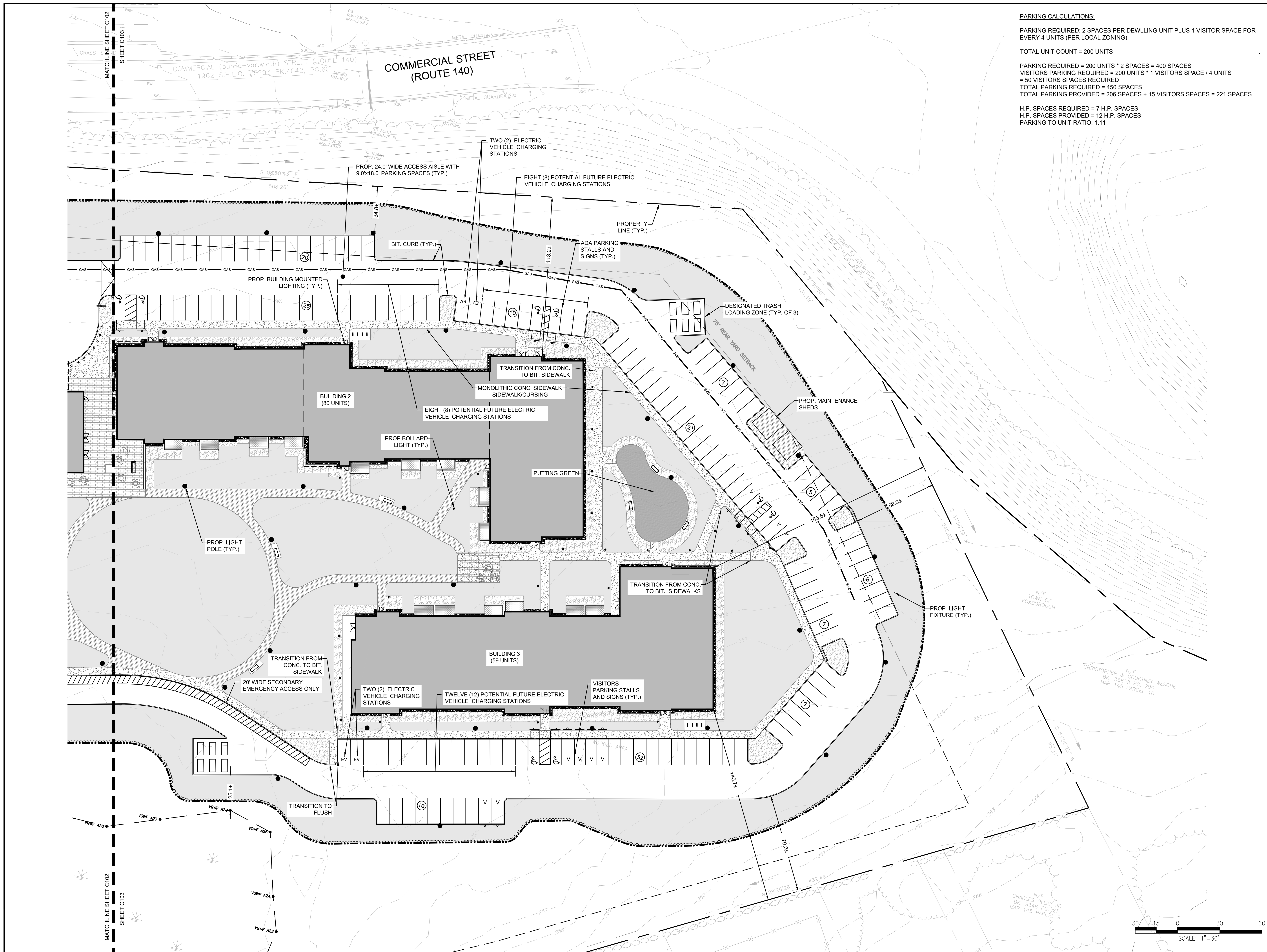
REVISIONS ON SHEET

SCALE UTILITE PROJECT NUMBER  
 Z212

SITE PLAN  
 (BUILDING ONE)

C102





**PARKING CALCULATIONS:**  
 PARKING REQUIRED: 2 SPACES PER DEWLLING UNIT PLUS 1 VISITOR SPACE FOR EVERY 4 UNITS (PER LOCAL ZONING)  
 TOTAL UNIT COUNT = 200 UNITS  
 PARKING REQUIRED = 200 UNITS \* 2 SPACES = 400 SPACES  
 VISITORS PARKING REQUIRED = 200 UNITS \* 1 VISITORS SPACE / 4 UNITS = 50 VISITORS SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 450 SPACES  
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 H.P. SPACES PROVIDED = 12 H.P. SPACES  
 PARKING TO UNIT RATIO: 1.11

**Walnut Street Affordable Housing**

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536 GRANITE ST  
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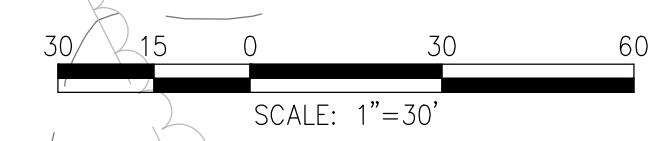
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| REVISIONS ON SHEET |
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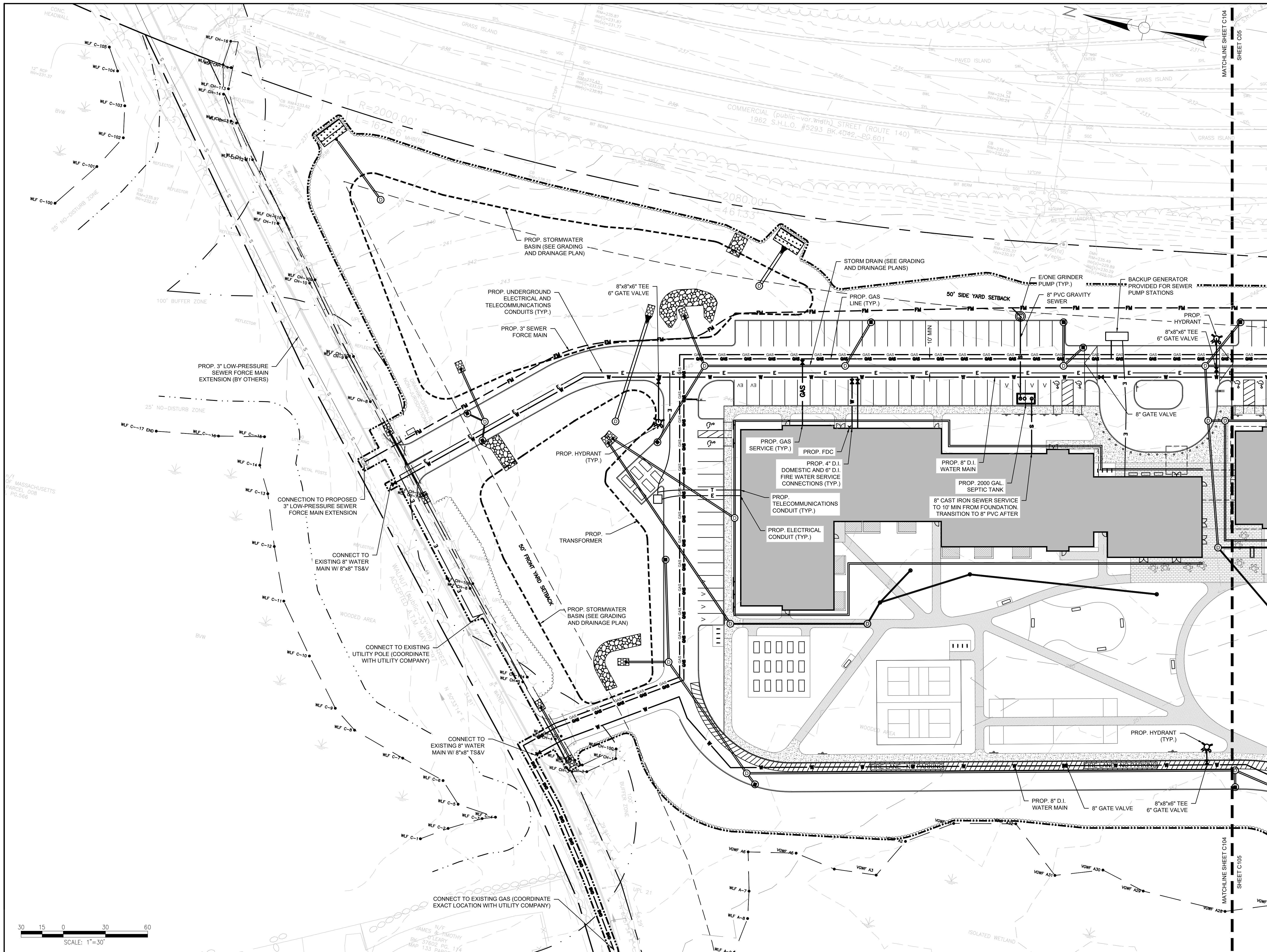
SCALE UTILITE PROJECT NUMBER 2212

**SITE PLAN (BUILDINGS TWO AND THREE)**

**C103**







**Walnut Street  
Affordable Housing**

FOXBOROUGH, MA 02035 PROJECT

The Walnut Street Joint  
Venture Group

536 GRANITE ST  
BRAintree, MA 02184  
P 000 000 0000 F 000 000 0000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617 423 7200 F 617 423 1414  
utilidesign.com

ARCHITECT

**Weston & Sampson**

85 DEVONSHIRE STREET, THIRD FLOOR  
BOSTON, MA 02109  
P 978 532 1900

CIVIL & LANDSCAPE

**BF&A**

17 BRIAN ROAD  
LANCASTER, MA 01523  
P 978 870 5674

CODE

**BLW ENGINEERS**

311 GREAT ROAD  
P.O. BOX #1551  
LITTLETON, MA 01460  
P 978 964 5477

M/E/P/FP

**KALIN ASSOCIATES**

1121 WASHINGTON STREET  
NEWTON, MA 02465  
P 617 964 5477

SPECIFICATIONS

**RSE ASSOCIATES**

63 PLEASANT STREET  
WATERTOWN, MA 02472  
P 617 926 9300

STRUCTURAL

| DATE | REVISION |
|------|----------|
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STAMP

REVISIONS ON SHEET

SCALE UTILITE PROJECT NUMBER  
Z212

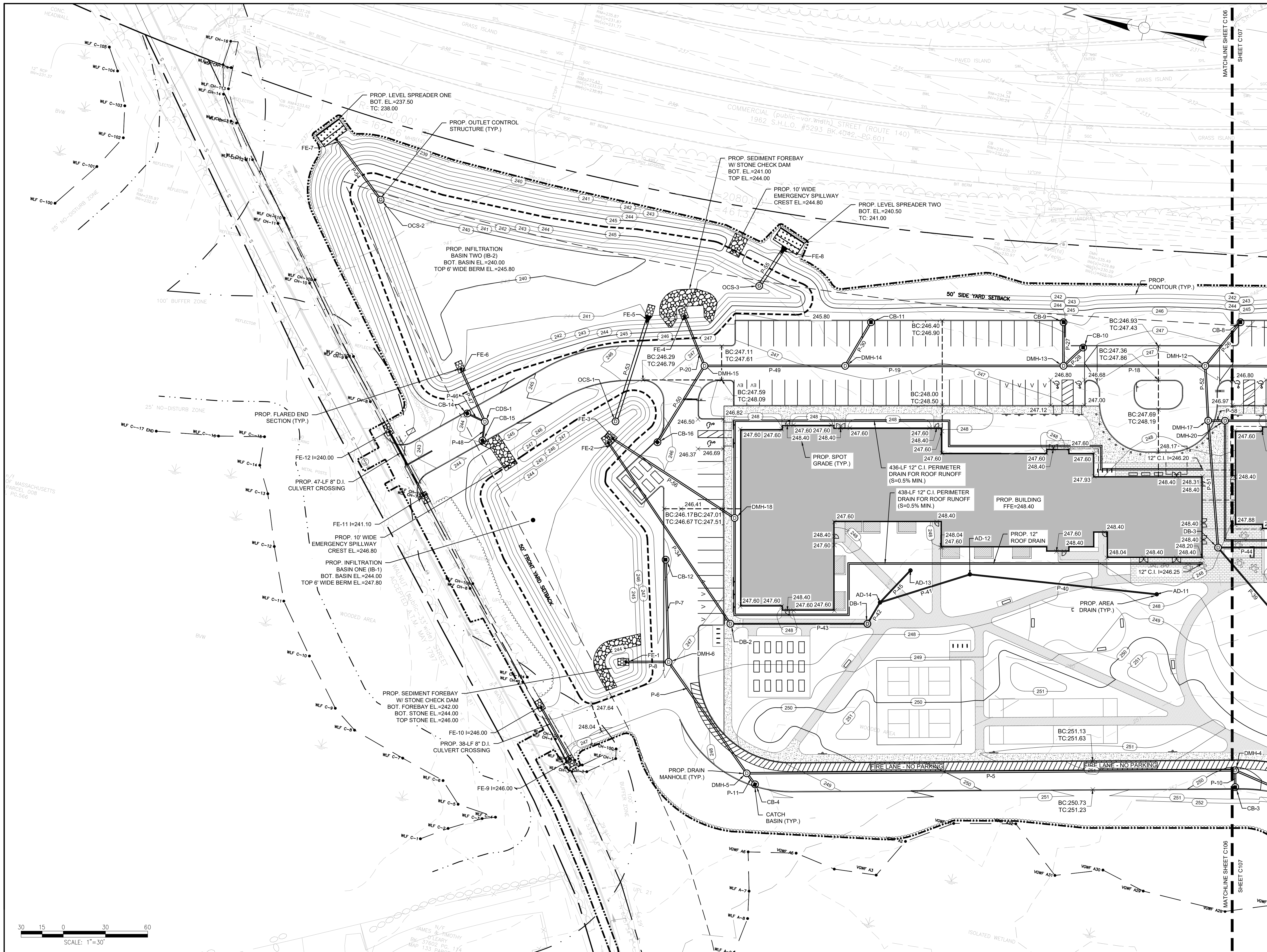
**UTILITY PLAN  
(BUILDING ONE)**

**C104**









**Walnut Street  
Affordable Housing**

FOXBOROUGH, MA 02035 PROJECT

The Walnut Street Joint  
Venture Group

536 GRANITE ST  
BRAINTREE, MA 02184  
P 000 000 0000 F 000 000 0000

OWNER

**utile**  
ARCHITECTURE + URBAN DESIGN

115 KINGSTON ST  
BOSTON, MA 02111  
P 617 423 7200 F 617 423 1414  
utilidesign.com ARCHITECT

**Weston & Sampson**

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NEWTON, MA 02465  
P 617 964 5477 SPECIFICATIONS

**RSE ASSOCIATES**

63 PLEASANT STREET  
WATERTOWN, MA 02472  
P 617 926 9300 STRUCTURAL

| DATE | REVISION |
|------|----------|
|      |          |

**REVISIONS ON SHEET**

SCALE UTILITE PROJECT NUMBER  
Z212

**GRADING AND  
DRAINAGE PLAN  
(BUILDING ONE)**

**C106**