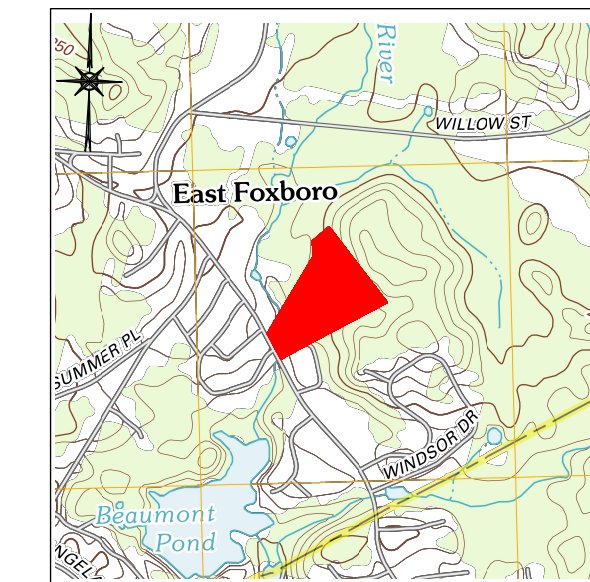


WAIVERS REQUESTED:

- SECTION 5.04.B. – TO WAIVE THE REQUIREMENT THAT THE SIDEWALK BE 5' BACK OF EDGE OF CURB FOR A PORTION OF ROADWAY
- SECTION 5.03.D. – TO WAIVE THE REQUIREMENT FOR DEAD END STREETS NOT TO EXCEED EIGHT HUNDRED (800) FEET.
- SECTION 5.06.B.8 – TO WAIVE THE REQUIREMENT FOR DRAINAGE BASIN TO BE LOCATED 50' FROM ALL THE PROPOSED STRUCTURES.



LOCUS 1"=2000'

**SPECIAL PERMIT & DEFINITIVE
PLAN OF LAND**

**Pine Air Estates
FOXBOROUGH, MA**

FEBRUARY 1, 2024 — SCALE: AS NOTED

BAY COLONY GROUP, Inc.
PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS
FOUR SCHOOL STREET, P.O. BOX 9136
FOXBOROUGH, MA 02035
(508) 543-3939

ASSESSORS REF: MAP 112, PARCELS 006-008

ZONING: RESIDENTIAL AGRICULTURAL R-40
(partially within Future Aquifer Area & Primary Resource Area)

TOTAL LOT AREA = 17.25± acres (MINUS PARCEL A)
 DEDICATED OPEN SPACE = 7.86± acres (46% OPEN SPACE)
 LENGTH OF ROADWAY: 1,025'
 NUMBER OF HOUSE LOTS: 12

SHEET NO.	DESCRIPTION	LAST REVISED
SHEET CV	COVER SHEET	2-1-2024
SHEET 1.0	LEGEND & GENERAL NOTES	2-1-2024
SHEET 1.1	INDEX PLAN	2-1-2024
SHEET 2.1	PROPERTY LINE PLAN	2-1-2024
SHEET 2.2	PROPERTY LINE PLAN	2-1-2024
SHEET 3.1	TOPOGRAPHIC PLAN	2-1-2024
SHEET 3.2	TOPOGRAPHIC PLAN	2-1-2024
SHEET 4.1	PLAN OF PROPOSED ROAD	2-1-2024
SHEET 4.2	PROFILE OF PROPOSED ROAD	2-1-2024
SHEET 5.1	DETAILS	2-1-2024
SHEET 5.2	DETAILS	2-1-2024
SHEET 5.3	DETAILS	2-1-2024
SHEET 5.4	DETAILS	2-1-2024
SHEET 5.5	MITIGATION PLAN	2-1-2024
SHEET 6.1	SWPPP	2-1-2024

THE LAST REVISED DATE FOR PLANS IN THIS SET IS: 2-1-2024

PROJECT:

**Pine Air Estates
Foxborough
Massachusetts**

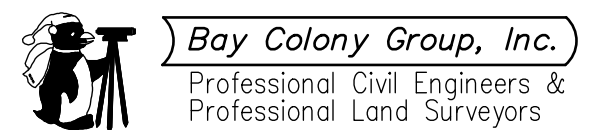
OWNERS:

**Scott M. & Elaine D.
Barbato
204 East Street
Foxborough, MA 02035**

**Paul A. Barbato
192 East Street
Foxborough, MA 02035**

APPLICANT:

**Pine Air, LLC
364 Hickory Road
North Attleboro, MA 02760**



FOUR SCHOOL STREET
 P.O. BOX 9136
 FOXBOROUGH, MA 02035
 508-543-3939

NOTICE TO CONTRACTOR:

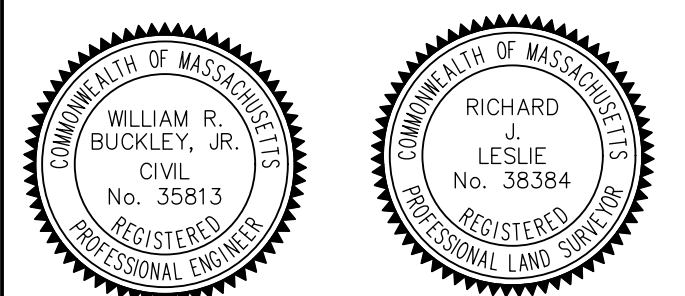
- ALL CONTRACTORS SHALL CONTACT THE PLANNING BOARD 508.543.1250 PRIOR TO THE INITIATION OF ANY CONSTRUCTION.
- A STREET OPENING PERMIT MUST BE OBTAINED FROM THE FOXBOROUGH HIGHWAY DEPARTMENT PRIOR TO ANY WORK OCCURRING IN OR ON ANY STREET (AFTER ACCEPTED OR NOT) AFTER THE TOP COURSE OF PAVEMENT IS INSTALLED.

DATE APPROVED: _____
 DATE ENDORSED: _____
 FOXBOROUGH PLANNING BOARD

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE _____ FOXBOROUGH TOWN CLERK

STAMP



DRAWING TITLE

Cover Sheet

FEBRUARY 1, 2024 SHEET NUMBER

23-0182B **CV**

GENERAL NOTES

- THIS PLAN IS SUBJECT TO AN APPROVAL LETTER ISSUED BY THE FOXBOROUGH PLANNING BOARD DATED XXX AND AN ORDER OF CONDITIONS ISSUED BY THE FOXBOROUGH CONSERVATION COMMISSION (FILE No. SE 157-XXX). SAID APPROVALS AND ORDERS SHALL BE CONSIDERED A PART OF THIS PLAN.
- PROPERTY LINE, TOPOGRAPHICAL, AND OTHER EXISTING CONDITIONS INFORMATION OBTAINED FROM A CONECO ENGINEERS & SCIENTISTS PLAN ENTITLED "Pine Air Estates Of FOXBOROUGH, OPEN SPACE RESIDENTIAL DEVELOPMENT" DATED MAY 31, 2022.
- THE LOCATIONS OF PROPOSED HOMES, SEPTIC SYSTEMS, AND ROOF DRAIN SYSTEMS ARE ILLUSTRATIVE ONLY. ACTUAL DESIGNS WILL BE PREPARED FOR EACH LOT.
- CONTRACTOR SHALL COMPLY WITH CONSTRUCTION STANDARDS OF THE TOWN OF FOXBOROUGH RULES AND REGULATIONS FOR THE SUBDIVISION OF LAND UNLESS EXPLICITLY WAIVED. SAID REGULATIONS REFERENCE THE MASSDOT CONSTRUCTION STANDARDS.
- UNDERGROUND UTILITIES ARE SHOWN HEREON AS COMPILED FROM RECORD PLANS AND VISIBLE UTILITY STRUCTURES. BAY COLONY GROUP DOES NOT WARRANT THE ACTUAL DEPTH AND LOCATIONS OF ANY UTILITIES SHOWN HEREON. CONTACT DIGSAFE AT 1-800-322-4844 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER PRIOR TO EXCAVATION.
- WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER IMMEDIATELY.
- TEST PITS TO LOCATE EXISTING UTILITIES MAY BE ORDERED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE RESPECTIVE COMPANIES.
- AREAS OUTSIDE THE LIMITS OF THE PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITIONS AT THE CONTRACTOR'S EXPENSE.
- STONE WALLS, FENCES, MAIL BOXES, SIGNS, CURBS, LIGHT POLES ETC.. SHALL BE REMOVED AND REPLACED AS NECESSARY TO PERFORM THE WORK.
- ALL PAVEMENT DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS AND AS SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL NOT STORE ANY EQUIPMENT, MATERIALS, SUPPLIES ON DRAINAGE STRUCTURES OR WITHIN 100 FEET OF WETLANDS.
- OPENINGS FOR PIPE IN PRECAST CONCRETE STRUCTURES SHALL BE CAST IN THE REQUIRED LOCATIONS DURING MANHOLE MANUFACTURE. FIELD CUT OPENINGS WILL NOT BE PERMITTED UNLESS APPROVED BY THE ENGINEER.
- ALL EXISTING STRUCTURES ARE TO BE DEMOLISHED AND REMOVED FROM THE SITE. EXISTING SEPTIC SYSTEM TANKS SHALL BE PUMPED, CRUSHED AND FILLED IN ACCORDANCE WITH BOARD OF HEALTH REGULATIONS.
- IN PAVED AND GRAVEL AREAS THE TOP OF THE STRUCTURE COVERS SHALL BE SET FLUSH WITH THE PAVED SURFACE. IN CROSS-COUNTRY AREAS THE TOP OF THE COVER SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE, OR AS SHOWN ON THE DRAWINGS, OR AS DIRECTED BY THE ENGINEER.
- THE TERM "PROPOSED" (PROP or PR-) SHALL BE UNDERSTOOD TO MEAN WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED ON THE PLAN AS R&R (REMOVE AND RESET).

PAVEMENT MARKINGS

SWL	SWL - SOLID WHITE LINE - 6" STATE HIGHWAY, 4" LOCAL STREETS
SYL	SYL - SOLID YELLOW LINE - 6" STATE HIGHWAY, 4" LOCAL STREETS
DWL	DWL - DOTTED WHITE LINE - 6" (2' STRIPE w/4' GAP) STATE HIGHWAY DOTTED WHITE LINE - 4" (2' STRIPE w/4' GAP) LOCAL STREETS
WLDL	WHITE LANE DELINEATION LINE - 6" (3' STRIPE w/9' GAP) STATE HIGHWAY WHITE LANE DELINEATION LINE - 4" (3' STRIPE w/9' GAP) LOCAL STREETS
DDYL	DOUBLE DOTTED YELLOW LINE - 6" (2' STRIPE w/4' GAP) STATE HIGHWAY DOUBLE DOTTED YELLOW LINE - 4" (2' STRIPE w/4' GAP) LOCAL STREETS
BWLL	BROKEN WHITE LANE LINE - 6" (10' STRIPE w/30' GAP) STATE HIGHWAY BROKEN WHITE LANE LINE - 4" (10' STRIPE w/30' GAP) LOCAL STREETS
SWLL	SOLID WHITE LANE LINE - 6" STATE HIGHWAY, 4" LOCAL STREETS
SWEL	SOLID WHITE EDGE LINE - 6" STATE HIGHWAY, 4" LOCAL STREETS
SWG	SOLID WHITE GORE LINE - 12"
SYEL	SOLID YELLOW EDGE LINE - 6" STATE HIGHWAY, 4" LOCAL STREETS
SYGL	SOLID YELLOW GORE LINE - 12"
DYL	DOUBLE YELLOW LINE - 2-6" LINES STATE HIGHWAY DOUBLE YELLOW LINE - 2-4" LINES LOCAL STREETS
	PAVEMENT ARROW AND LEGEND

SYMBOLS & LEGEND

EXISTING	PROPOSED
n.t.s. - NOT TO SCALE	n.t.s. - NOT TO SCALE
T.B.M. - TEMPORARY BENCH MARK	T.B.M. - TEMPORARY BENCH MARK
- BOUND (TYPE NOTED)	- BOUND (TYPE NOTED)
- STAKE & STONE	- STAKE & STONE
DH - DRILL HOLE	DH - DRILL HOLE
IP - IRON PIPE/PIN	IP - IRON PIPE/PIN
- MASS HIGHWAY BOUND	- MASS HIGHWAY BOUND
s/n - STAKE & NAIL	s/n - STAKE & NAIL
(fd) - FOUND	(fd) - FOUND
(set) - SET IN PLACE	(set) - SET IN PLACE
- UTILITY POLE	- UTILITY POLE
UPLP - UTILITY POLE/LIGHT POLE	UPLP - UTILITY POLE/LIGHT POLE
UP - UTILITY POLE	UP - UTILITY POLE
- WELL	- WELL
n/f - NOW OR FORMERLY	n/f - NOW OR FORMERLY
- TREE (SIZE NOTED)	- TREE (SIZE NOTED)
(rec) - RECORD	(rec) - RECORD
- DRAIN MANHOLE	- DRAIN MANHOLE
- TELEPHONE MANHOLE	- TELEPHONE MANHOLE
- ELECTRIC MANHOLE	- ELECTRIC MANHOLE
- SEWER MANHOLE	- SEWER MANHOLE
- CATCH BASIN	- CATCH BASIN
WG - WATER GATE	WG - WATER GATE
WS - WATER SERVICE	WS - WATER SERVICE
GG - GAS GATE	GG - GAS GATE
- EXISTING HYDRANT	- PROPOSED HYDRANT
SGC - SLOPED GRANITE CURBING	HMA - HOT MIX ASPHALT
VGC - VERTICAL GRANITE CURBING	SGC - SLOPED GRANITE CURBING
PVC - POLYVINYL CHLORIDE PIPE	VGC - VERTICAL GRANITE CURBING
CMP - CORRUGATED METAL PIPE	PVC - POLYVINYL CHLORIDE PIPE
VCP - VITREOUS CLAY PIPE	CMP - CORRUGATED METAL PIPE
CLF - CHAIN LINK FENCE	VCP - VITREOUS CLAY PIPE
OHW - OVERHEAD WIRE	CLF - CHAIN LINK FENCE
SIGN - SIGN (SIZE & TYPE NOTED)	OHW - OVERHEAD WIRE
- TEST PIT	R&R - REMOVE AND RE-USE
D - DRAIN PIPE (SIZE & TYPE NOTED)	R&S - REMOVE AND STACK
S - SEWER PIPE (SIZE & TYPE NOTED)	SIGN - SIGN (SIZE & TYPE NOTED)
E - ELECTRIC DUCT (SIZE & TYPE NOTED)	D - DRAIN PIPE (SIZE & TYPE NOTED)
G - GAS MAIN (SIZE & TYPE NOTED)	S - SEWER PIPE (SIZE & TYPE NOTED)
W - WATER MAIN (SIZE & TYPE NOTED)	E - ELECTRIC DUCT (SIZE & TYPE NOTED)
T - TELEPHONE DUCT	G - GAS MAIN (SIZE & TYPE NOTED)
- STONE WALL	W - WATER MAIN (SIZE & TYPE NOTED)
- EDGE OF TREELINE	T - TELEPHONE DUCT
- GUARD-RAIL (TYPE NOTED)	- STONE WALL
- RAILROAD TRACKS	- EDGE OF TREELINE
- RETAINING WALL (SIZE & TYPE NOTED)	- GUARD-RAIL (TYPE NOTED)
- BARBED WIRE FENCE	- RETAINING WALL (SIZE & TYPE NOTED)
- STOCKADE FENCE	- BARBED WIRE FENCE
- CHAIN-LINK FENCE	- STOCKADE FENCE
	- CHAIN-LINK FENCE

PROJECT:
*Pine Air Estates
Foxborough
Massachusetts*

OWNERS:
*Scott M. & Elaine D.
Barbato
204 East Street
Foxborough, MA 02035*

*Paul A. Barbato
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APPLICANT:
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FOUR SCHOOL STREET
P.O. BOX 9136
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508-543-3939

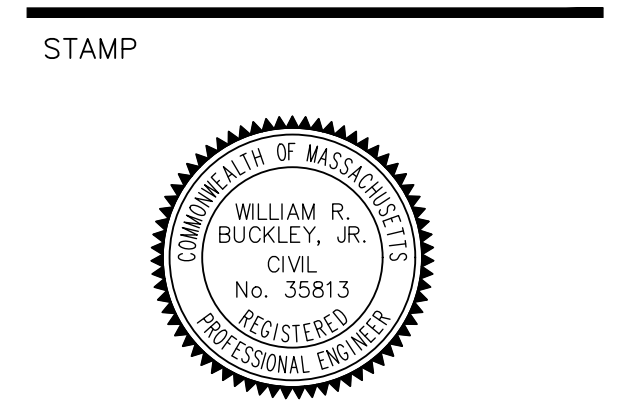
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DATE APPROVED: _____
DATE ENDORSED: _____
FOXBOROUGH PLANNING BOARD

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DATE _____ FOXBOROUGH TOWN CLERK



DRAWING TITLE

**Legend &
General Notes**

SCALE: as noted
FEBRUARY 1, 2024 SHEET NUMBER
23-0182B 1.0



SHEET 2.2

SHEET 2.1

(REGISTRY)

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS AND/OR MUNICIPAL REQUIREMENTS, AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN, OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT ASSESSORS RECORDS.
I CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____ PROFESSIONAL LAND SURVEYOR _____

PROJECT:
*Pine Air Estates
Foxborough
Massachusetts*

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STAMP



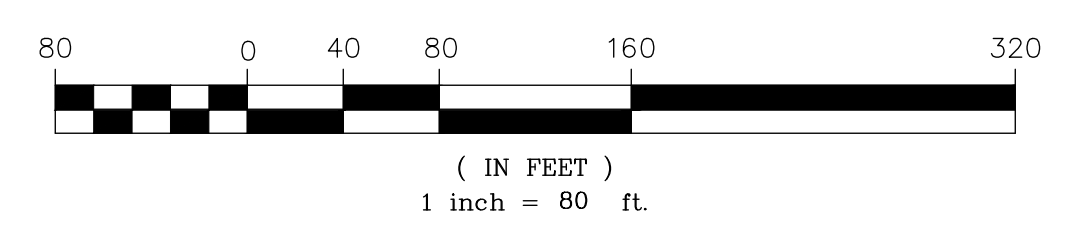
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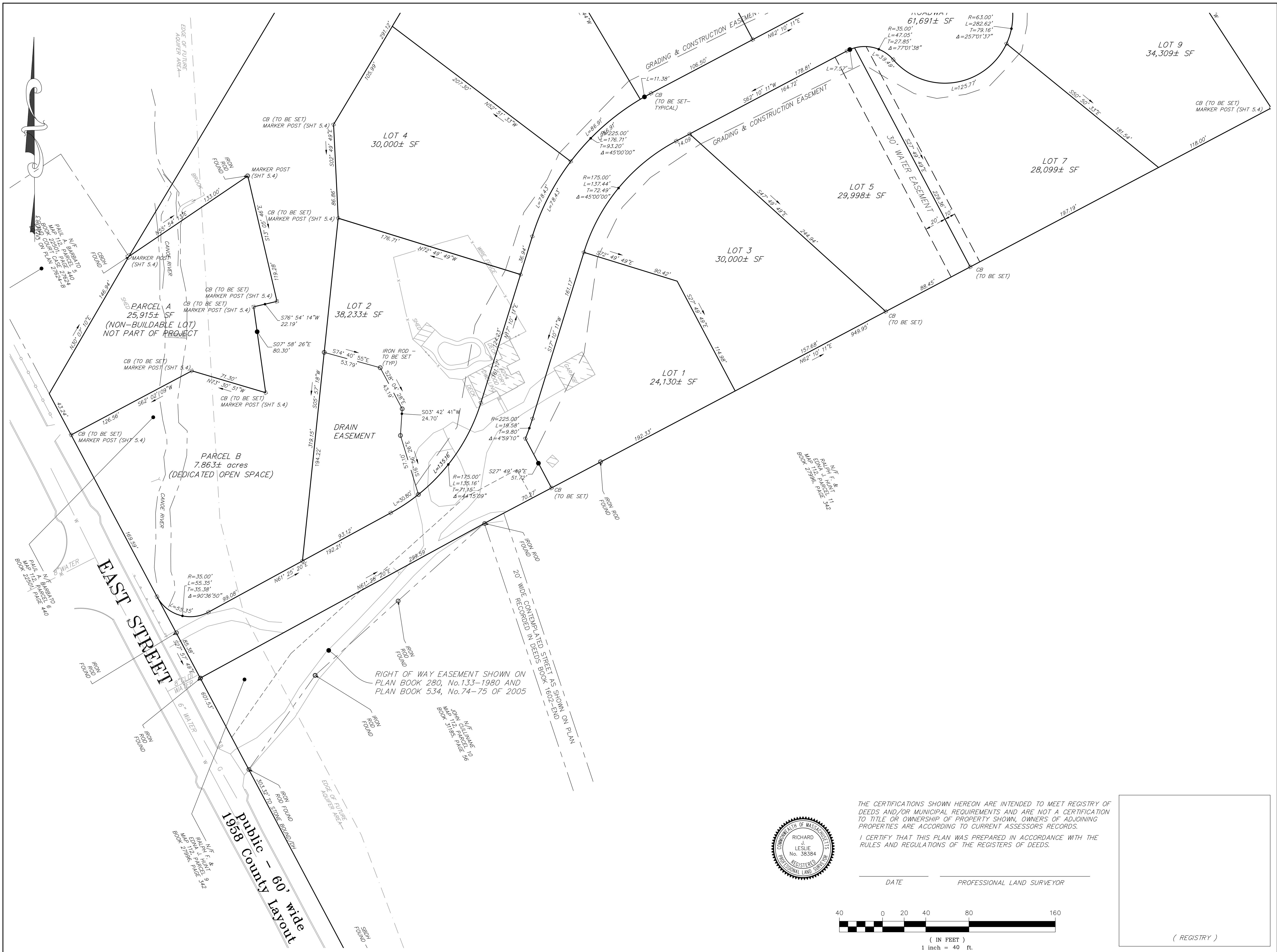
Index Plan

SCALE: 1" = 80'

FEBRUARY 1, 2024 SHEET NUMBER

23-0182B 1.1



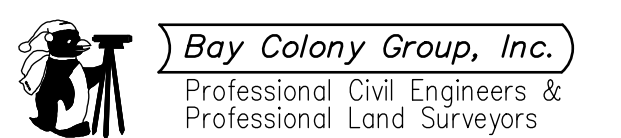


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 508-543-3939

DEED REFERENCE:
 BK.21696, PG.96
 BK.22380, PG.520
 BK.22501, PG.440

PLAN REFERENCE:
 PLAN BOOK 280, No.133-1980
 PLAN BOOK 534, No.74 & 75-2005

ASSESSOR'S REFERENCE:
 MAP 112, PARCELS 6, 7, & 8

ZONING REFERENCE:
 RESIDENTIAL-AGRICULTURAL R-40
 (partially within WRPOD Future Aquifer Area and Primary Resource Area)

DATE APPROVED: _____
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DRAWING TITLE

Property Line Plan

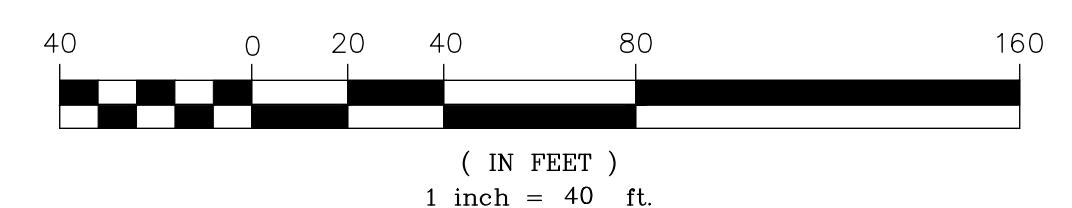
SCALE: 1" = 40'
 FEBRUARY 1, 2024 SHEET NUMBER
 23-0182B **2.1**



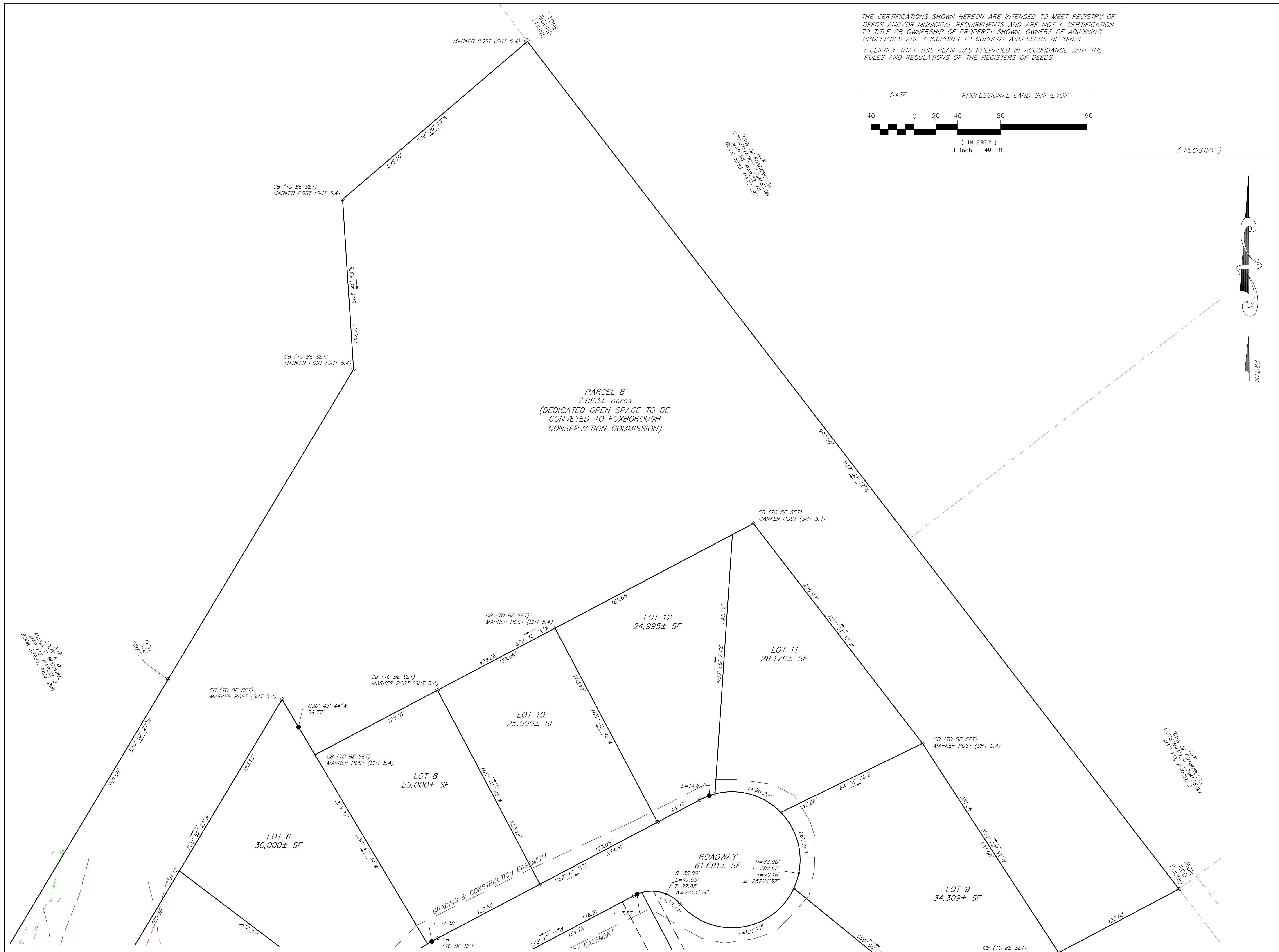
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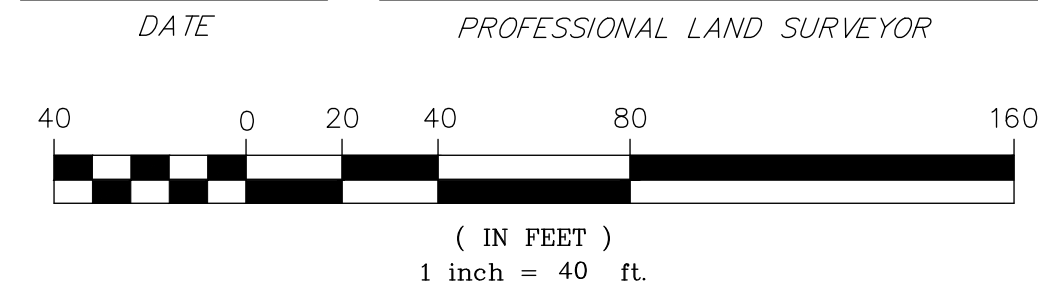
DATE _____ PROFESSIONAL LAND SURVEYOR



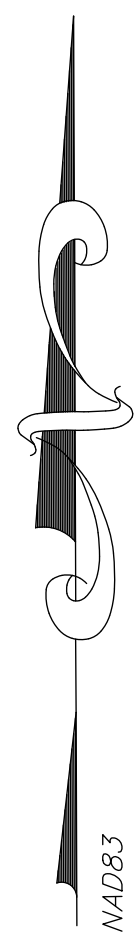
(REGISTRY)



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(REGISTRY)



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 Massachusetts**

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APPLICANT:
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 364 Hickory Road
 North Attleboro, MA 02760

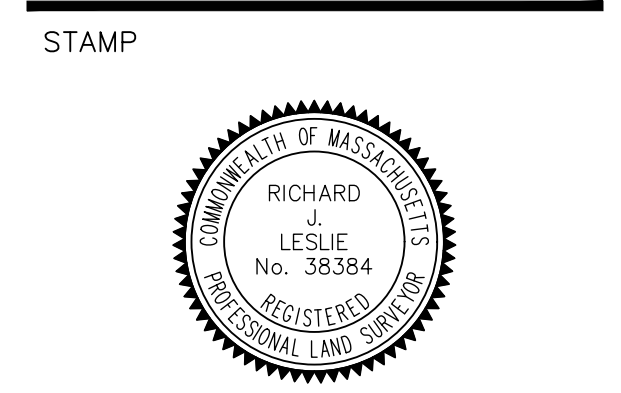


FOUR SCHOOL STREET
 P.O. BOX 9136
 FOXBOROUGH, MA 02035
 508-543-3939

DATE APPROVED: _____
 DATE ENDORSED: _____
 FOXBOROUGH PLANNING BOARD

I HEREBY CERTIFY THAT 20 DAYS HAVE
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 APPROVAL AND THAT NO APPEAL HAS
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DATE _____ FOXBOROUGH TOWN CLERK _____



DRAWING TITLE

Property Line
Plan

SCALE: 1" = 40'

FEBRUARY 1, 2024 SHEET NUMBER

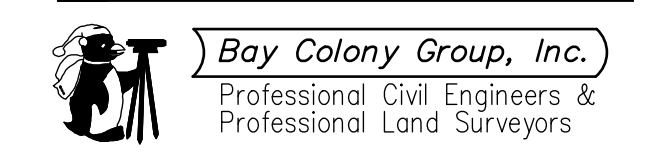
23-0182B **2.2**



PROJECT:
**Pine Air Estates
 Foxborough
 Massachusetts**

OWNERS:
**Scott M. & Elaine D.
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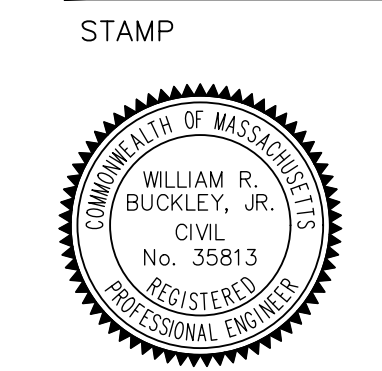
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- NOTES:**
1. EACH HOUSE SHALL HAVE A ROOF DRAIN INFILTRATION SYSTEM THAT SHALL CAPTURE AND INFILTRATE THE FIRST 2" OF RUNOFF. SEE SHEET 5.1 FOR EXAMPLE.
 2. ALL GS TO DWG CONNECTIONS SHALL BE 12" RCP UNLESS OTHERWISE NOTED.

DATE APPROVED: _____
 DATE ENDORSED: _____
 FOXBOROUGH PLANNING BOARD

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DATE _____ FOXBOROUGH TOWN CLERK



DRAWING TITLE

Topographic
 Plan

SCALE: 1" = 40'
 FEBRUARY 1, 2024 SHEET NUMBER
 23-0182B **3.1**



PROJECT:

**Pine Air Estates
Foxborough
Massachusetts**

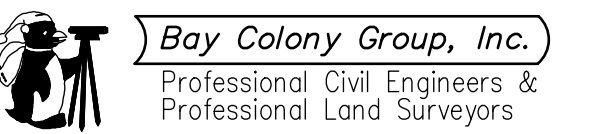
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NOTES:

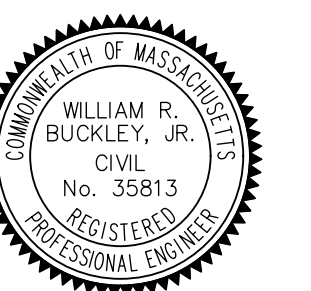
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STAMP



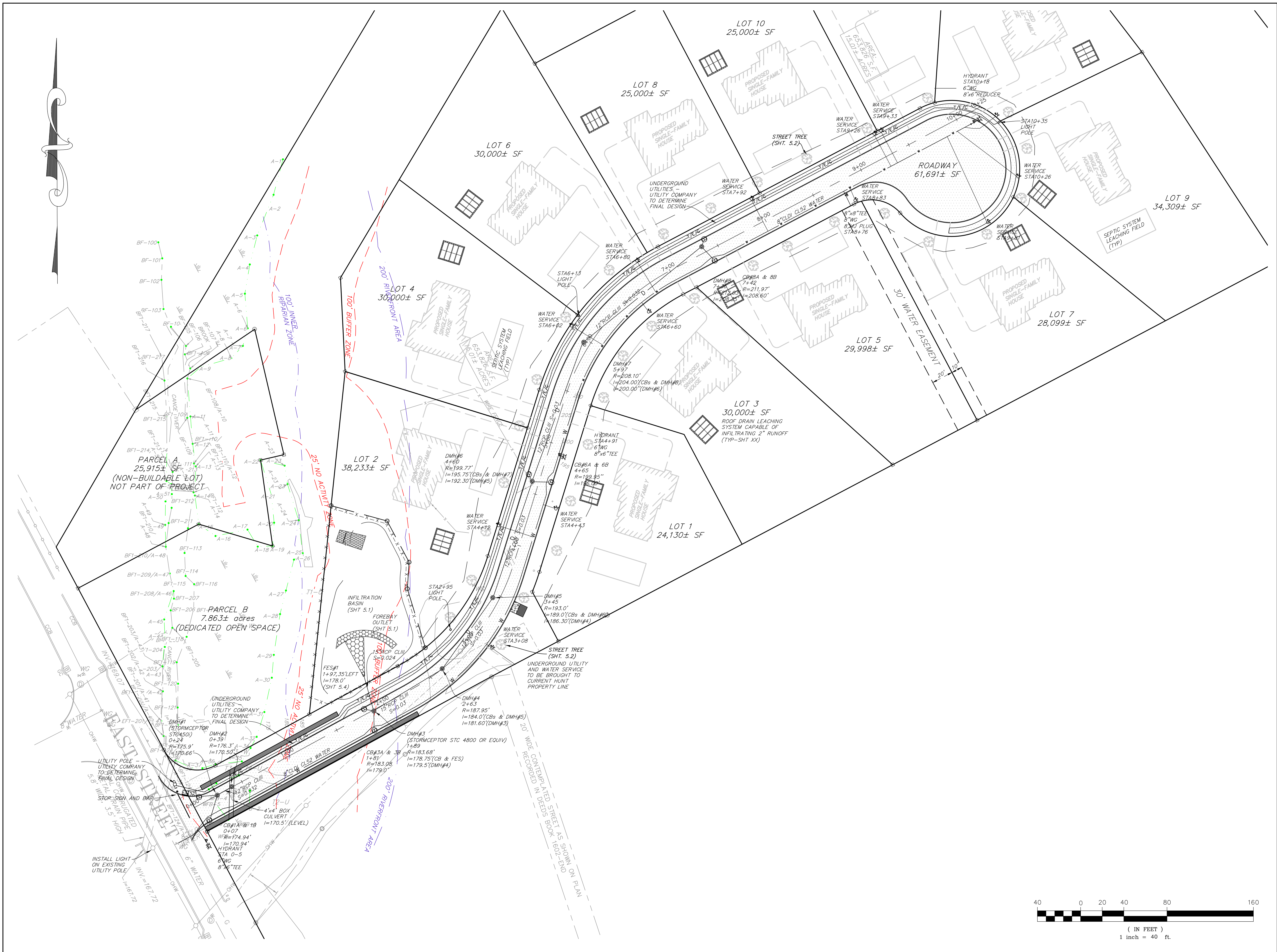
DRAWING TITLE

**Topographic
Plan**

SCALE: 1" = 40'

FEBRUARY 1, 2024 SHEET NUMBER

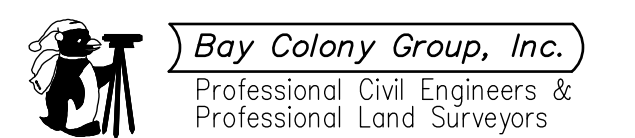
23-0182B **3.2**



PROJECT:
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FOUR SCHOOL STREET
 P.O. BOX 9136
 FOXBOROUGH, MA 02035
 508-543-3939

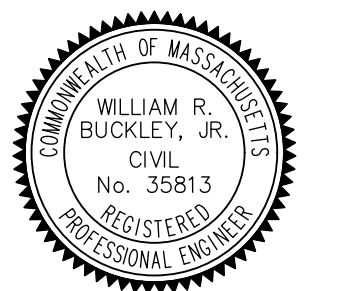
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 - ALL CATCH BASIN TO DMH CONNECTIONS TO BE 12" RCP CLIM MIN SLOPE =0.02

DATE APPROVED: _____
 DATE ENDORSED: _____
 FOXBOROUGH PLANNING BOARD

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

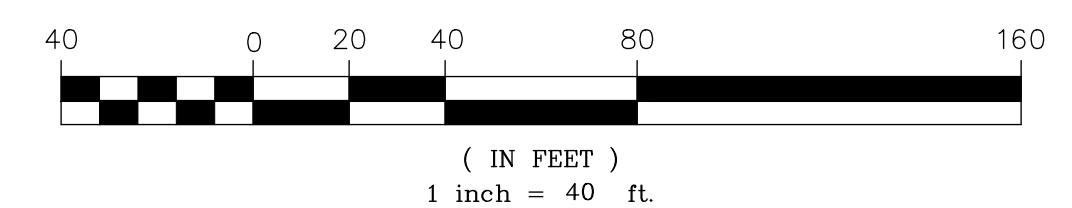
DATE _____ FOXBOROUGH TOWN CLERK

STAMP



DRAWING TITLE

Plan of
 Proposed Road



SCALE: 1" = 40'

FEBRUARY 1, 2024 SHEET NUMBER

23-0182B **4.1**

PROJECT:

Pine Air Estates
Foxborough
Massachusetts

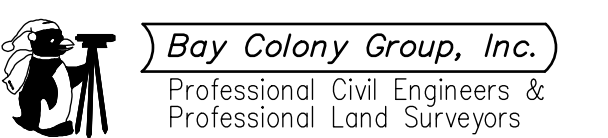
OWNERS:

Scott M. & Elaine D.
Barbato
204 East Street
Foxborough, MA 02035

Paul A. Barbato
192 East Street
Foxborough, MA 02035

APPLICANT:

Pine Air, LLC
364 Hickory Road
North Attleboro, MA 02760



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P.O. BOX 9136
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508-543-3939

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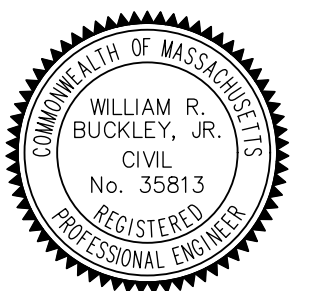
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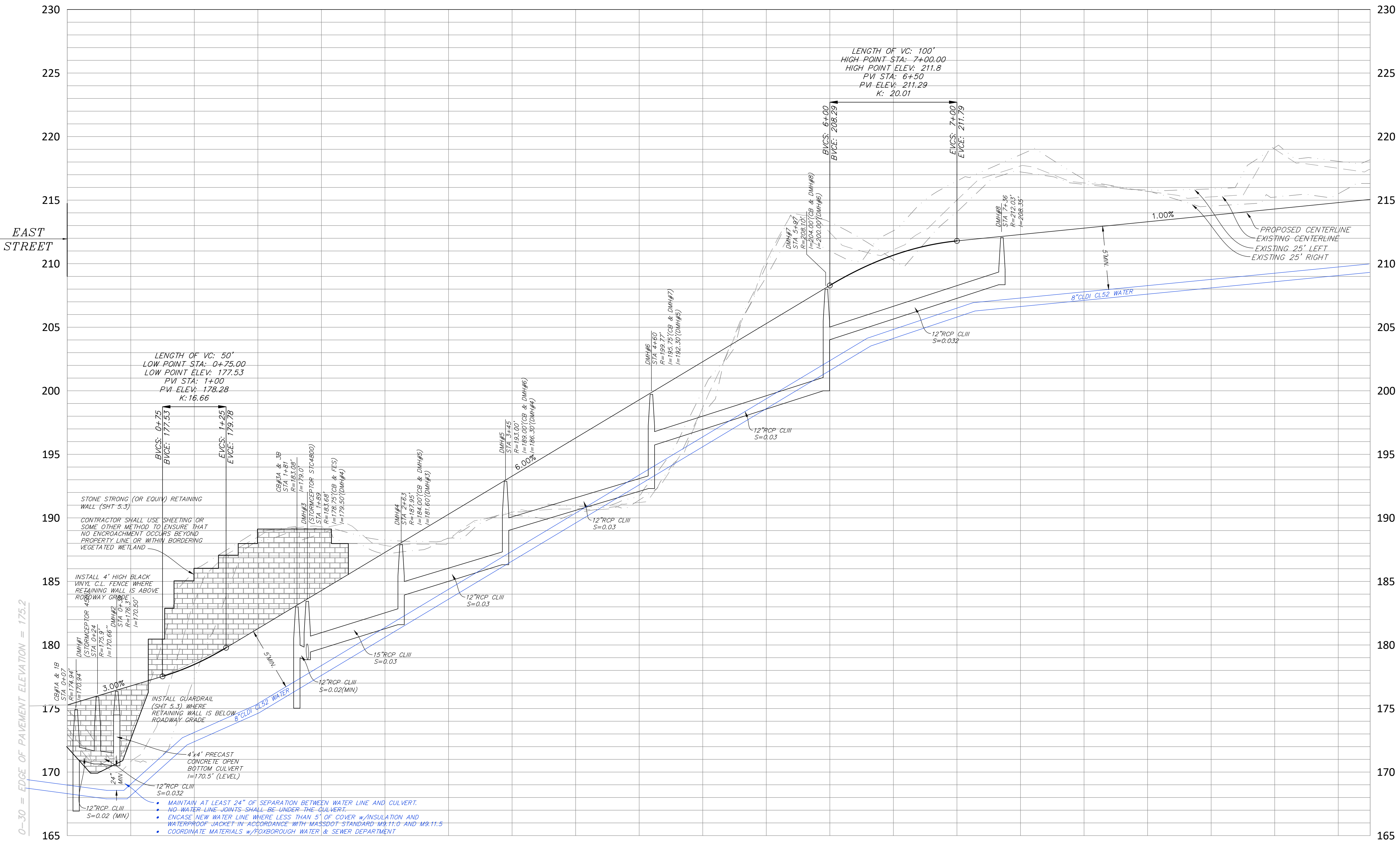
DRAWING TITLE

Profile of
Proposed Road

SCALE: 1" = 40'H / 1" = 4'V

FEBRUARY 1, 2024 SHEET NUMBER

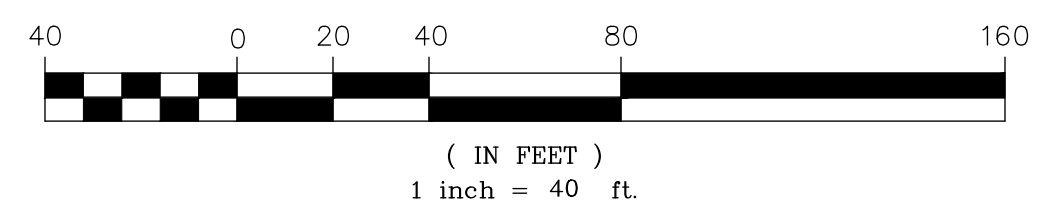
23-0182B 4.1



EAST
STREET

0-30 = EDGE OF PAVEMENT ELEVATION = 175.2

173.5	175.28	170.8	176.78	183.4	176.47	188.5	181.28	189.3	184.28	187.8	187.28	188.1	190.28	190.4	193.28	190.7	196.29	191.2	199.29	198.7	202.29	210.2	205.29	212.5	208.29	211.1	210.67	215.0	211.79	217.7	212.29	216.4	212.80	215.7	213.30	215.3	213.80	219.0	214.30	217.5	214.81	217.4	215.06
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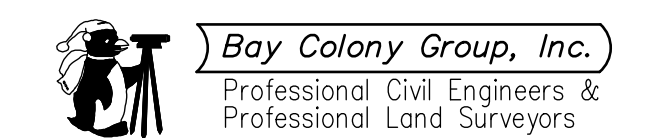
Roadway Alignment
Horizontal Scale: 1" = 40'
Vertical Scale: 1" = 4'

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 Massachusetts**

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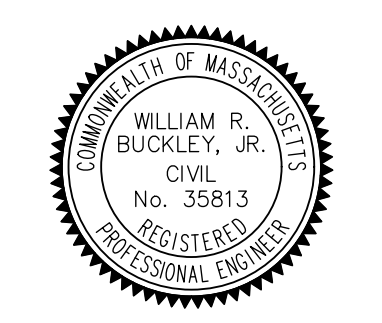
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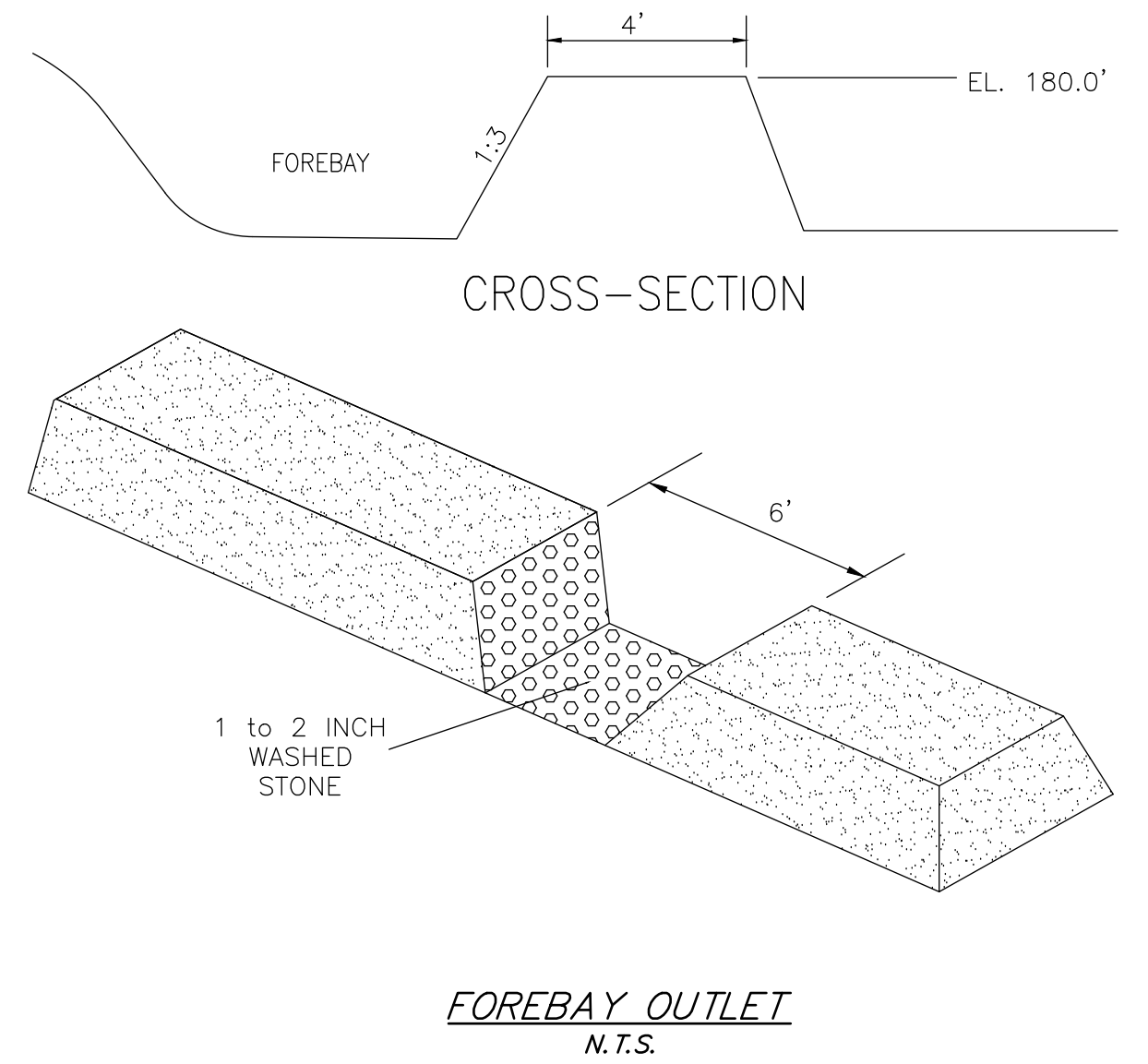
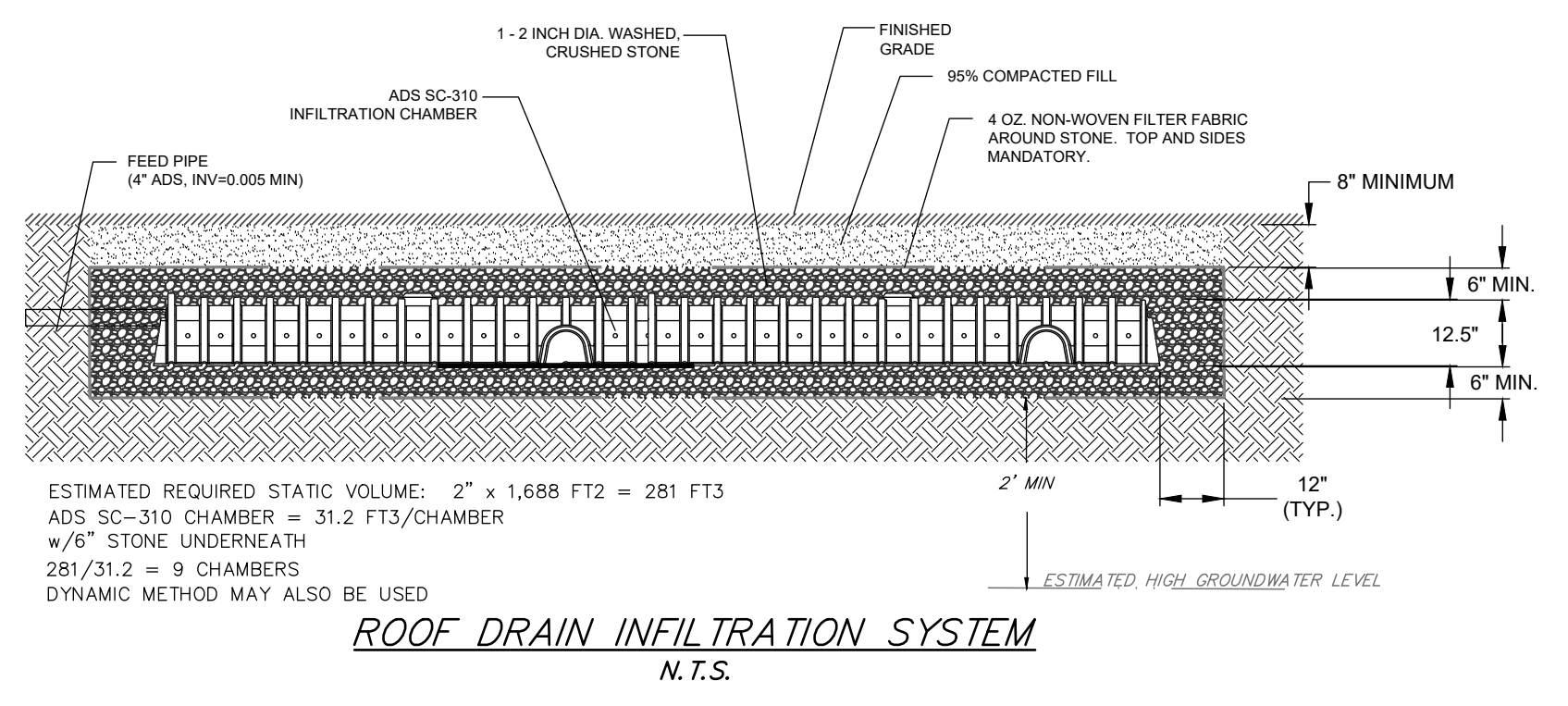
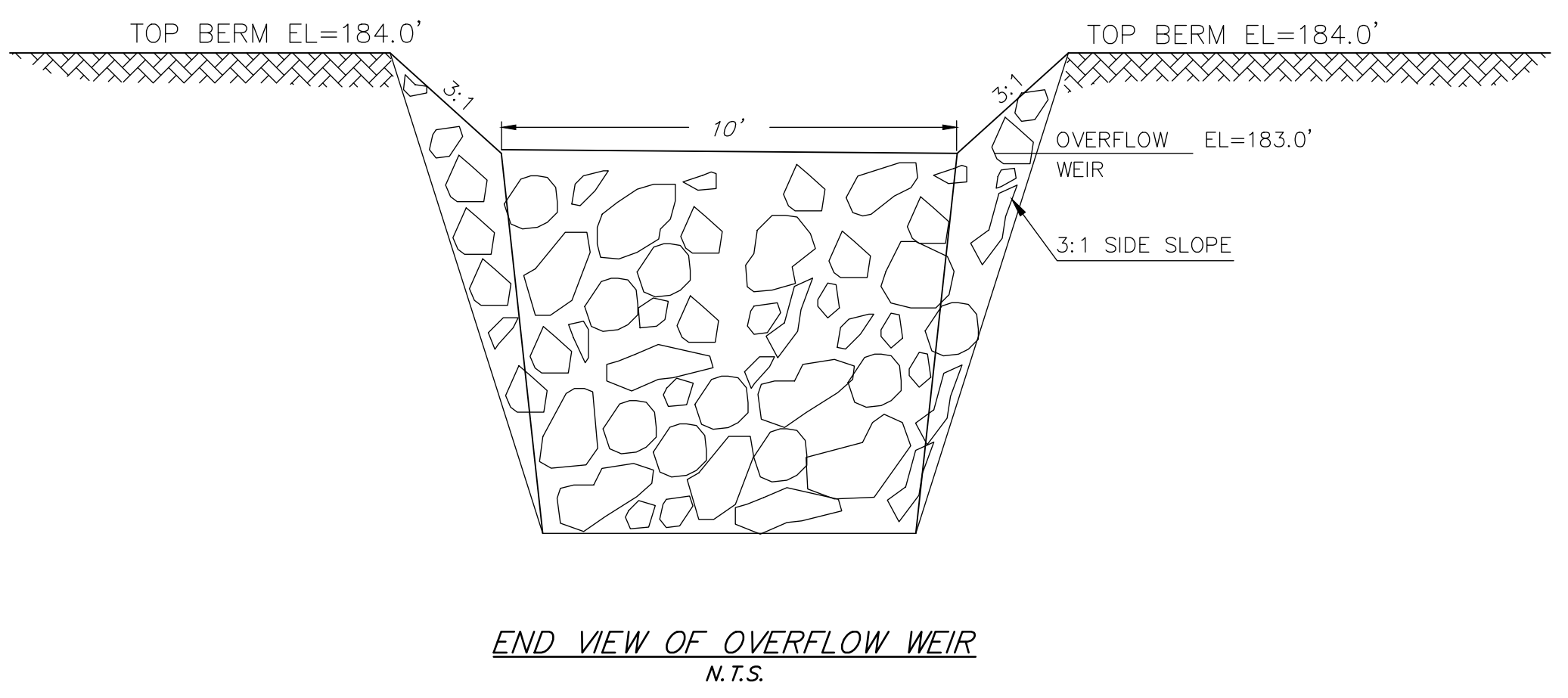
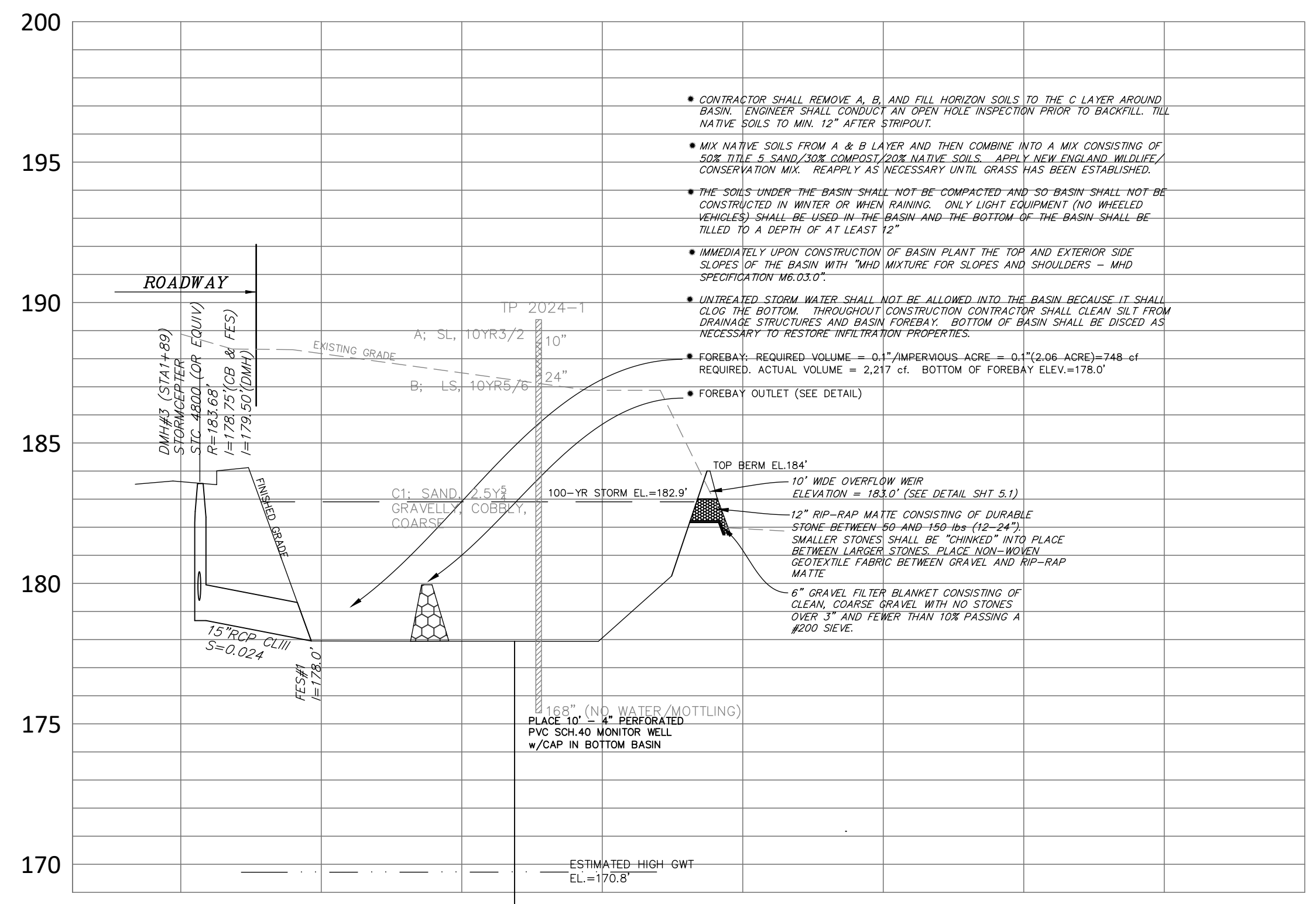
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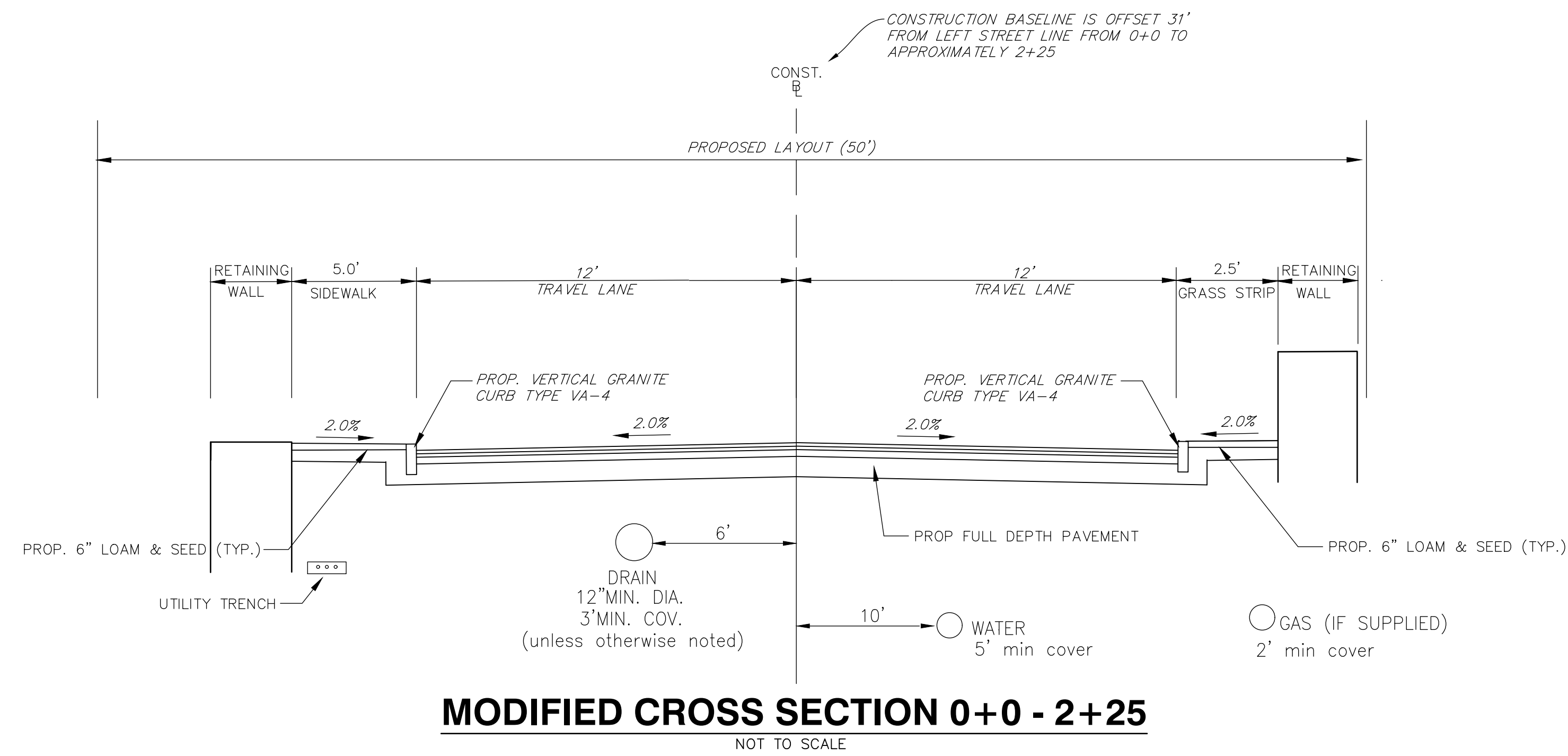
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SCALE: AS NOTED
 FEBRUARY 1, 2024 SHEET NUMBER
 23-0182B **5.1**

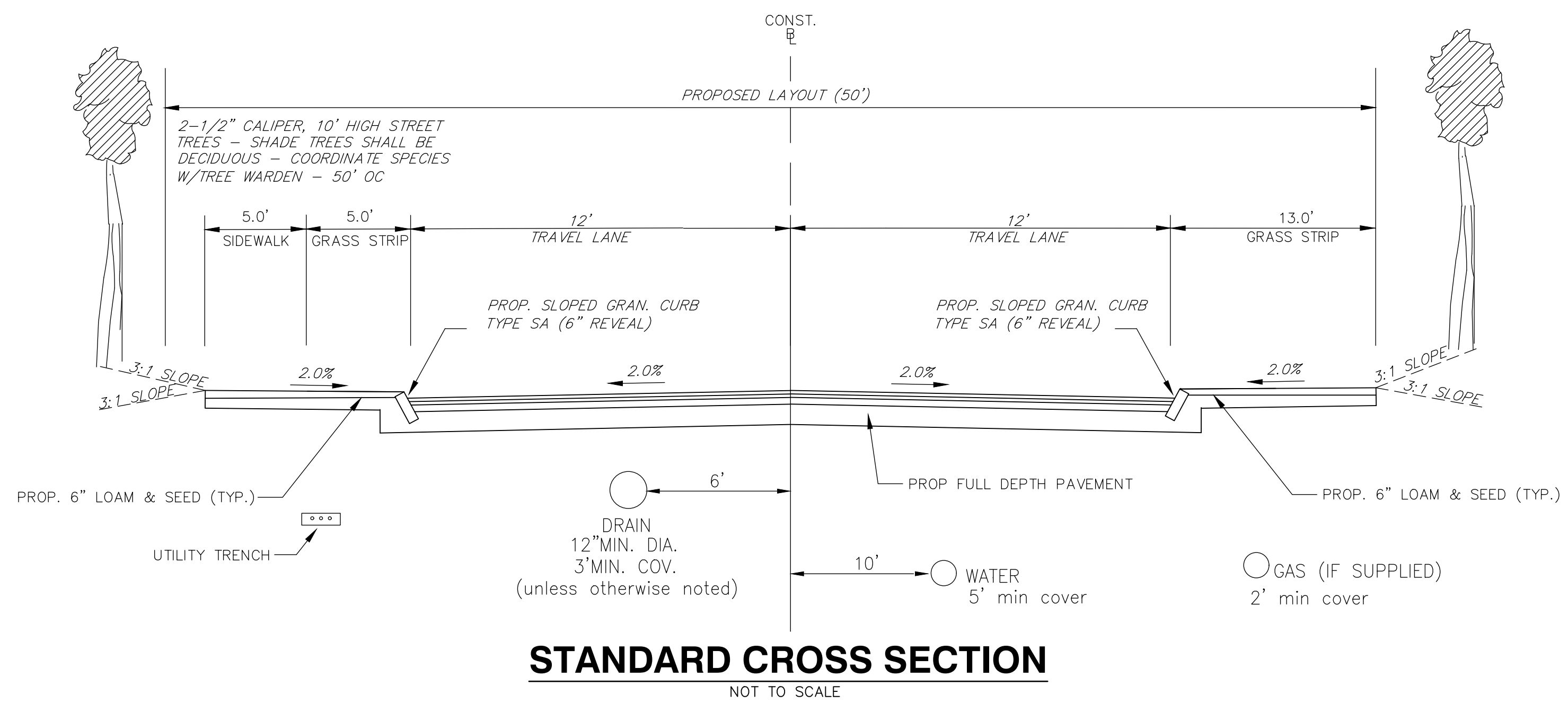


MAIL KIOSK ILLUSTRATION
 N.T.S.

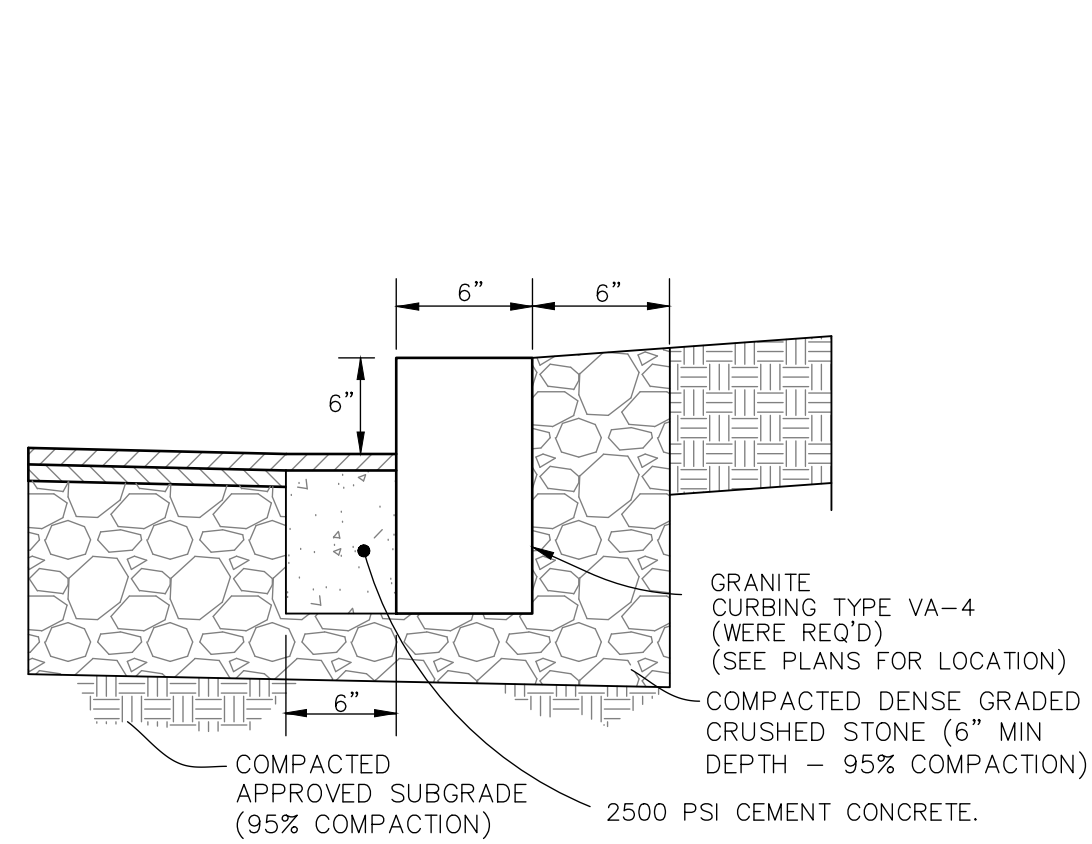




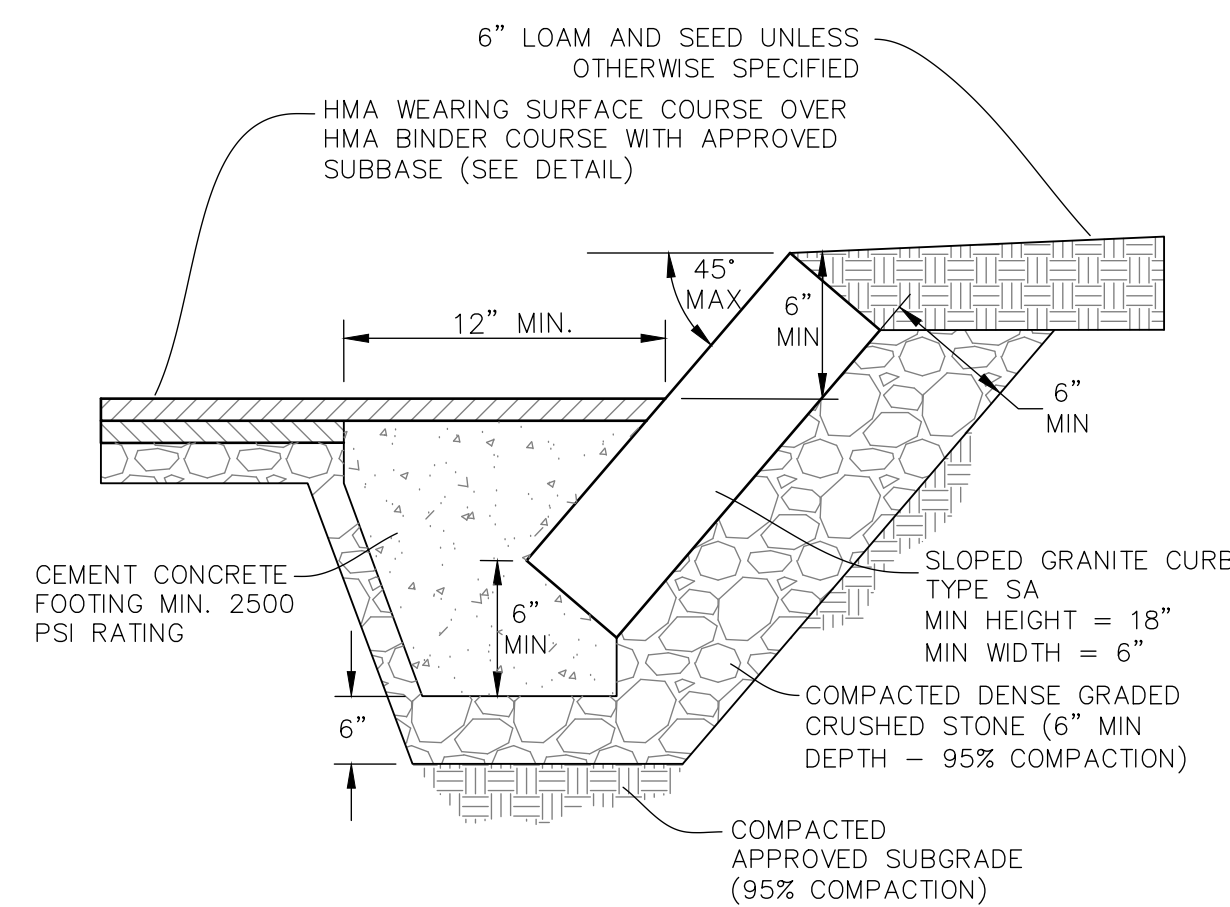
MODIFIED CROSS SECTION 0+0 - 2+25
NOT TO SCALE



STANDARD CROSS SECTION
NOT TO SCALE



VERTICAL GRANITE CURBING
N.T.S.



SLOPED GRANITE CURBING
N.T.S.

PAVEMENT NOTES

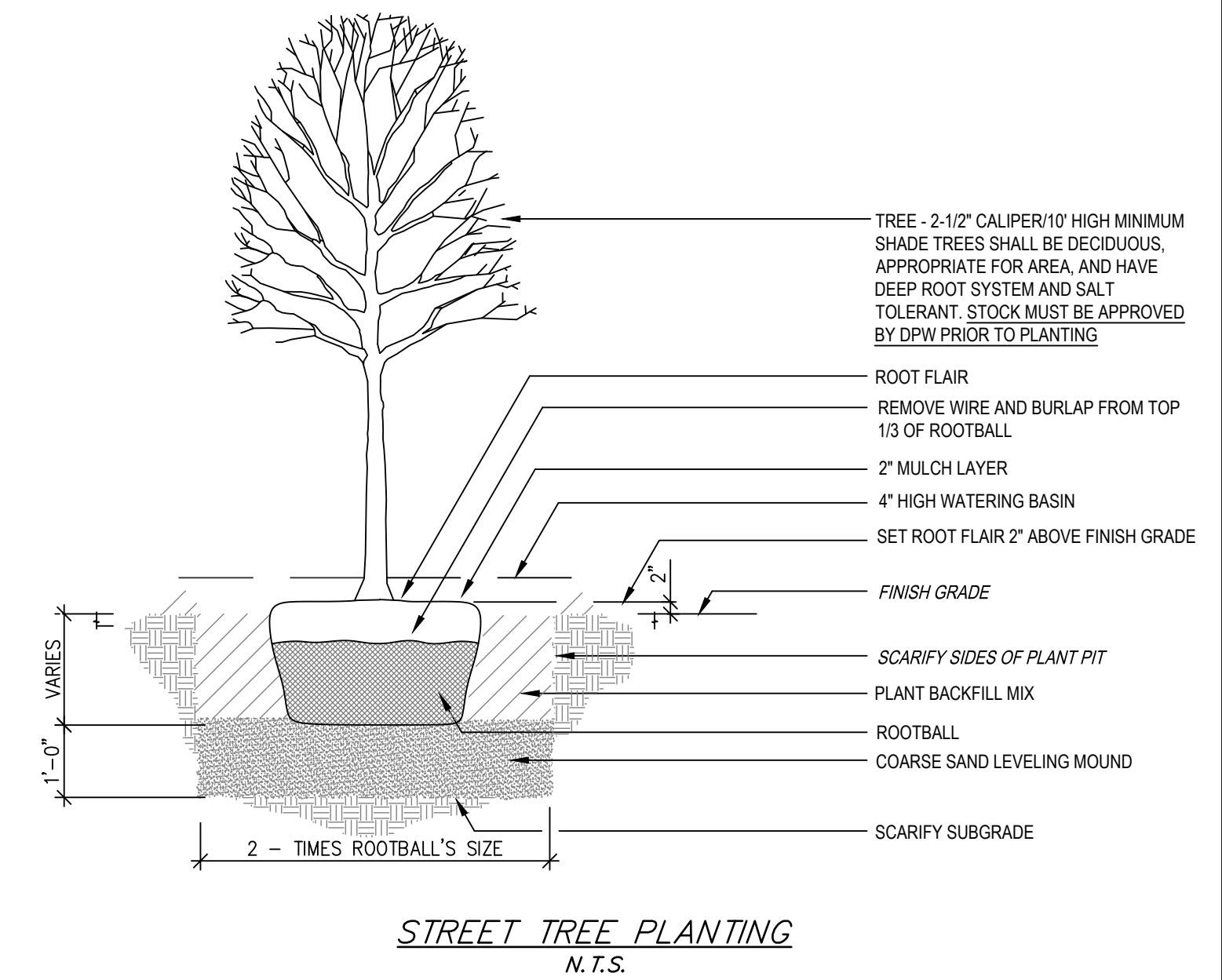
PROPOSED FULL DEPTH PAVEMENT
SURFACE: 1-1/2" HOT MIX ASPHALT TOP COURSE MATERIAL PLACED IN ONE COURSE w/TACK COAT ON BASE.
BASE: 3-1/2" HOT MIX ASPHALT BASE COURSE MATERIAL PLACED IN ONE COURSE
SUBBASE: 12" GRAVEL BORROW M1.03.0 TYPE B
4" DENSE GRADED CRUSHED STONE M2.01.7

PROPOSED HOT MIX ASPHALT SIDEWALK
SURFACE: 3-1/2" HOT MIX ASPHALT (1-1/2" MODIFIED TOP COURSE MATERIAL OVER 2" BINDER COURSE MATERIAL)
SUBBASE: 8" GRAVEL BORROW, M1.03.0 TYPE B

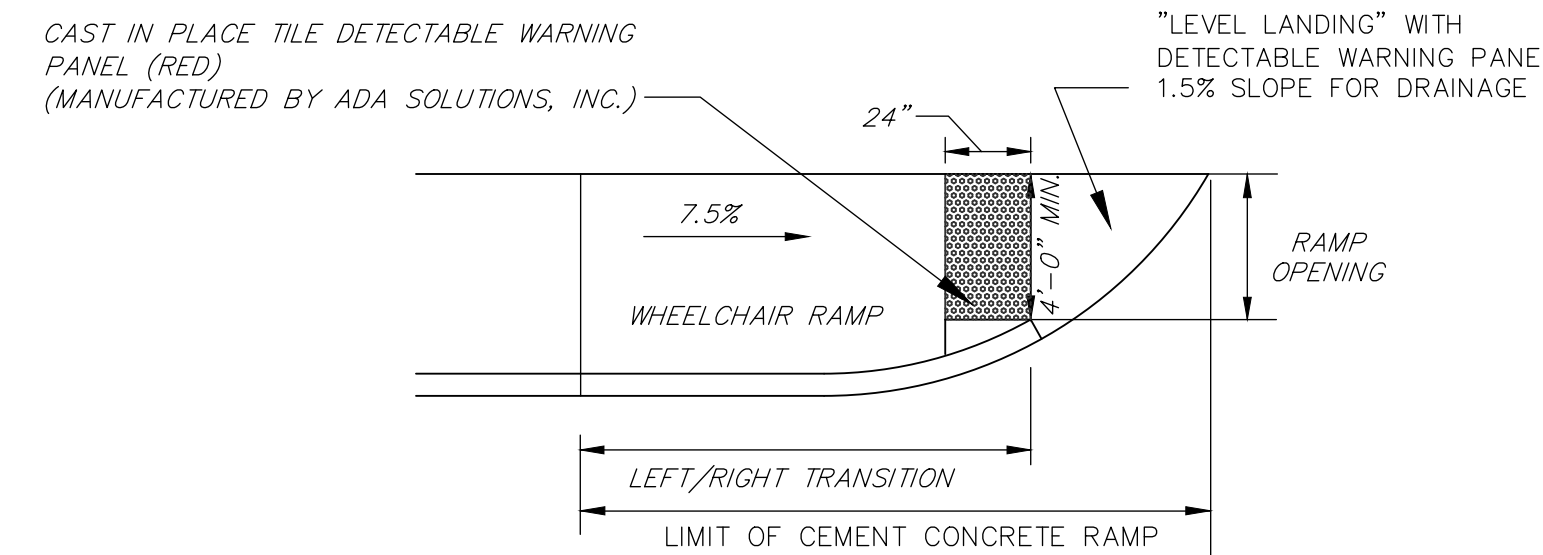
WHEELCHAIR RAMP NOTES

PROPOSED WHEELCHAIR RAMPS
(SEE 2017 MASSDOT CONSTRUCTION STANDARD DWGS. 107.2)

SURFACE: 4" CEMENT CONCRETE W/ EMBEDDED WIRE MESH
SUBBASE: 8" GRAVEL BORROW



STREET TREE PLANTING
N.T.S.

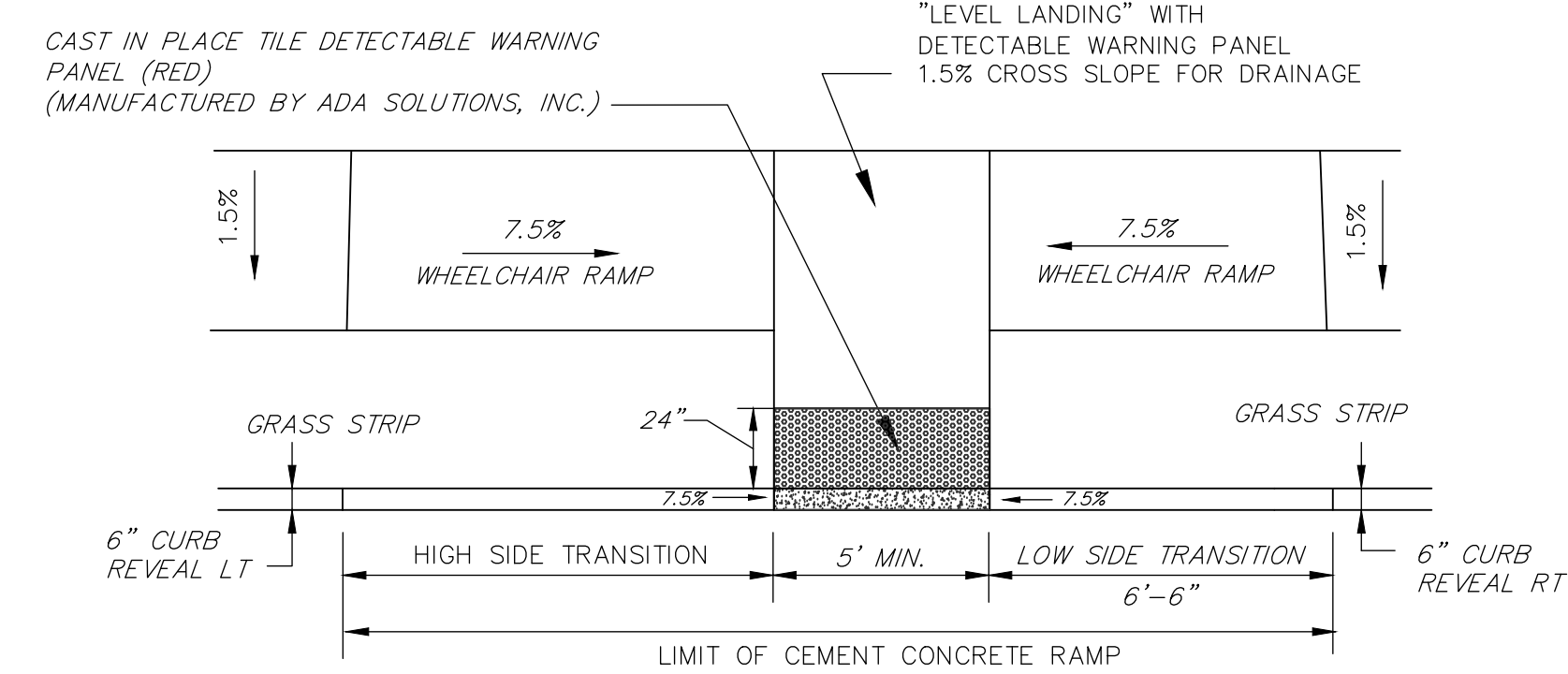


WHEEL CHAIR RAMP DETAIL - ON CURVE
N.T.S.

CURB TRANSITION LENGTHS FOR WHEELCHAIR RAMPS

ROAD PROFILE GRADE - %	*HIGH SIDE TRANSITION LENGTH
0	6'-6"
>0 => 1	7'-8"
>1 => 2	9'
>2 => 3	11'
>3 => 4	14'
>4	15' MAX

*BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 6"



WHEEL CHAIR RAMP DETAIL - W/ GRASS STRIP
N.T.S.

PROJECT:

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Foxborough
Massachusetts**

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APPLICANT:

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364 Hickory Road
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P.O. BOX 9136
FOXBOROUGH, MA 02035
508-543-3939**

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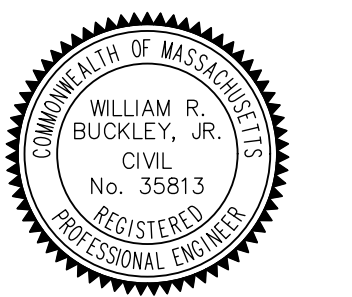
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STAMP



DRAWING TITLE

Details

SCALE: AS NOTED

FEBRUARY 1, 2024 SHEET NUMBER

23-0182B **5.2**

GENERAL SPECIFICATIONS:

WALL AND CULVERT

SHAPE: THE CULVERT SHALL BE OPEN BOTTOM WITH A MINIMUM 4' WIDTH AND 4' HEIGHT.

SECTION LENGTHS SHALL BE 10 FEET. CULVERT SHALL BE EMBEDDED A MINIMUM OF 2 FOOT – FINAL DESIGN BY STRUCTURAL ENGINEER. OVERLAP – EACH SECTION SHALL HAVE A PREPLACED CLOSED CELL RUBBER GASKET CEMENTED TO THE JOINT SURFACE.

ASSEMBLY HARDWARE: ASSEMBLY HARDWARE IS ONE USED TO LIFT AND DRAW SECTIONS TOGETHER (SUPPLIED BY MANUFACTURER). PERMANENT JOINT BOLTING HARDWARE IS NOT REQUIRED.

SUBMITTAL: THESE DRAWINGS ARE GENERAL IN NATURE AND SHALL NOT BE USED FOR CONSTRUCTION. FINISHED DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER AND BUILDING COMMISSIONER FOR APPROVAL AND DRAWINGS TO BE STAMPED BY A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER AND ACCOMPANIED BY DESIGN CALCULATIONS.

INSPECTION: THE QUALITY OF MATERIALS, THE PROCESS OF MANUFACTURE, AND THE FINISHED BOX SECTIONS SHALL BE SUBJECT TO INSPECTION BY ACI APPROVED LAB PERSONNEL AND AND THE OWNER'S QUALIFIED REPRESENTATIVES.
DESIGN CRITERIA: DESIGN SPECIFICATION: MOST RECENT SPEC ACI 318 & AASHTO

MATERIALS PROPERTIES: CONCRETE—5000 PSI @ 28 DAYS STEEL REINFORCEMENT REBAR ASTM A-615 GRADE 60 WELDED WIRE FABRIC ASTM A-185 GRADE 65

SOIL DATA: (ASSUMED – MUST BE VERIFIED BY STRUCTURAL ENGINEER) UNIT WEIGHT—120 LB./C.F. RATIO OF LATERAL TO VERTICAL PRESSURE .25 TO .50 MAX. EXTERNAL WATER TABLE—BELOW BOX SECTION INVERT OR AS CONDITIONS DICTATE

LOADING DATA:
TRUCK AXLE LOAD, HS20-44—32000 LBF, OR OTHER SPECIFIED LOADS
EARTH COVER— 0 FEET MIN, 5 FEET MAX. IMPACT (VARIABLE WITH DEPTH) SEE AASHTO BRIDGE SPECIFICATIONS—0 TO 30% UNIFORM INTERNAL PRESSURE—0.0 DEPTH OF WATER IN BOX SECTION—EQUAL TO INSIDE HEIGHT
EXTERNAL GROUND WATER PRESSURE—0.0
LOAD FACTOR—DEAD LOAD 1.5 –LIVE LOAD 2.2

WALL & CULVERT CONSTRUCTION SEQUENCING

TIMING: THE CONSTRUCTION SHALL BE CONDUCTED DURING LOW FLOW OR NO FLOW, WHICH IS NORMALLY BETWEEN JULY 15 AND OCTOBER 15, TO MINIMIZE EROSION. CONSTRUCTION CAN BE CONDUCTED OUTSIDE THAT TIME PERIOD IF THE ENGINEER DETERMINES THAT WEATHER AND SITE CONDITIONS ARE SUITABLE.

STEP 1. STAKE THE LIMIT OF WORK. THE LOCATION OF THE STRUCTURE AND AREA OF FOOTING EXCAVATION FOR THE WALL SHALL BE STAKED OUT. POTENTIAL DEWATERING BASINS SHALL BE ALSO STAKED IN THE UPLAND AREA IN CASE DEWATERING IS NEEDED. GIVEN NO IN-STREAM ACTIVITIES ARE PROPOSED FOR THIS PROJECT, CONSTRUCTION OF THE WALL AND CULVERT DURING NO OR LOW FLOW SEASON WILL HAVE MINIMUM DEWATERING NEED.

STEP 2. INSTALL SEDIMENT AND EROSION CONTROL SILT SOCKS ALONG THE LIMIT OF WORK PRIOR TO ANY EARTH WORK.

STEP 3. CLEAN THE PROPOSED ROAD WAY AREA APPROACHING THE STRUCTURE. REMOVE ANY TREES AND STUMPS IN THE ROADWAY LAYOUT AND CLEAN THE SURFACE BY REMOVING TOP AND SUBSOIL TO CLEAN BASE MATERIAL. ALL REMOVED MATERIALS SHALL BE STOCKPILED OUTSIDE OF 100-FT OF WETLAND AND STREAMS WITH PROPER SEDIMENT AND EROSION CONTROL.

STEP 4. EXCAVATE THE WALL FOOTING TO THE DESIGN GRADE AND COMPACTED WITH A COMPACTOR TO A MINIMUM 95% COMPACT RATIO.

STEP 5. INSTALL SUBBASE OF THE WALL FOOTING, COMPACTED 6" CRUSHED STONES OF ¾" – 1 ¼" SHALL BE INSTALLED AT THE BOTTOM OF THE FOOTING EXCAVATION.

STEP 6. INSTALL FOOTING OF THE WALL AND CULVERT IN ACCORDANCE WITH THE DESIGN PLAN.

STEP 7. BACKFILL AND GRADING. CLEAN FILL SHALL BE USED FOR BACKFILL AROUND THE WITHIN THE WALLS TO THE PROPOSED GRADE FOR PAVEMENT. ALL FILL SHALL BE CARRIED OUT IN 1-FT LIFTS AND COMPACTED TO A COMPACTION RATIO OF 95% OR BETTER.

PROJECT:

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Foxborough
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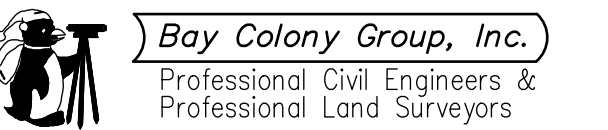
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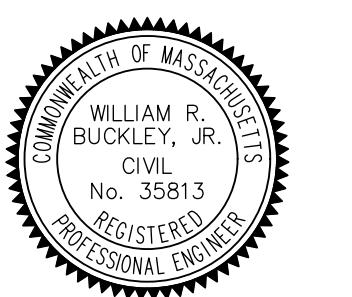
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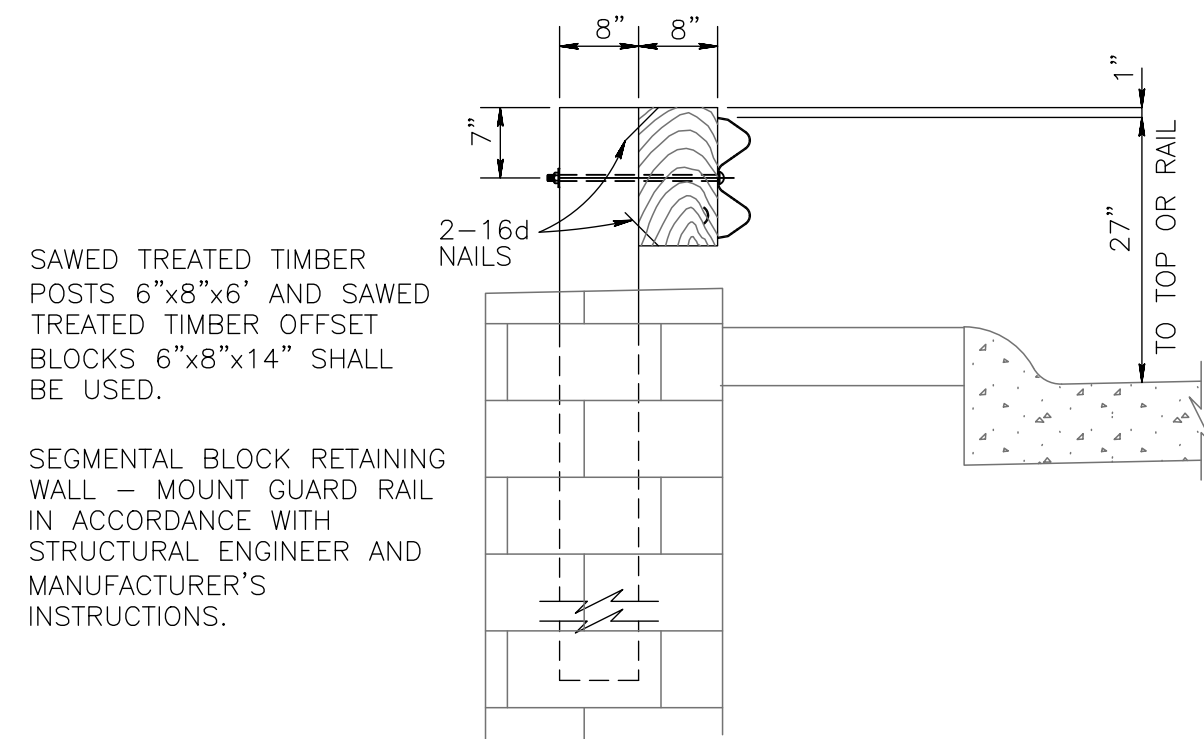
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Details

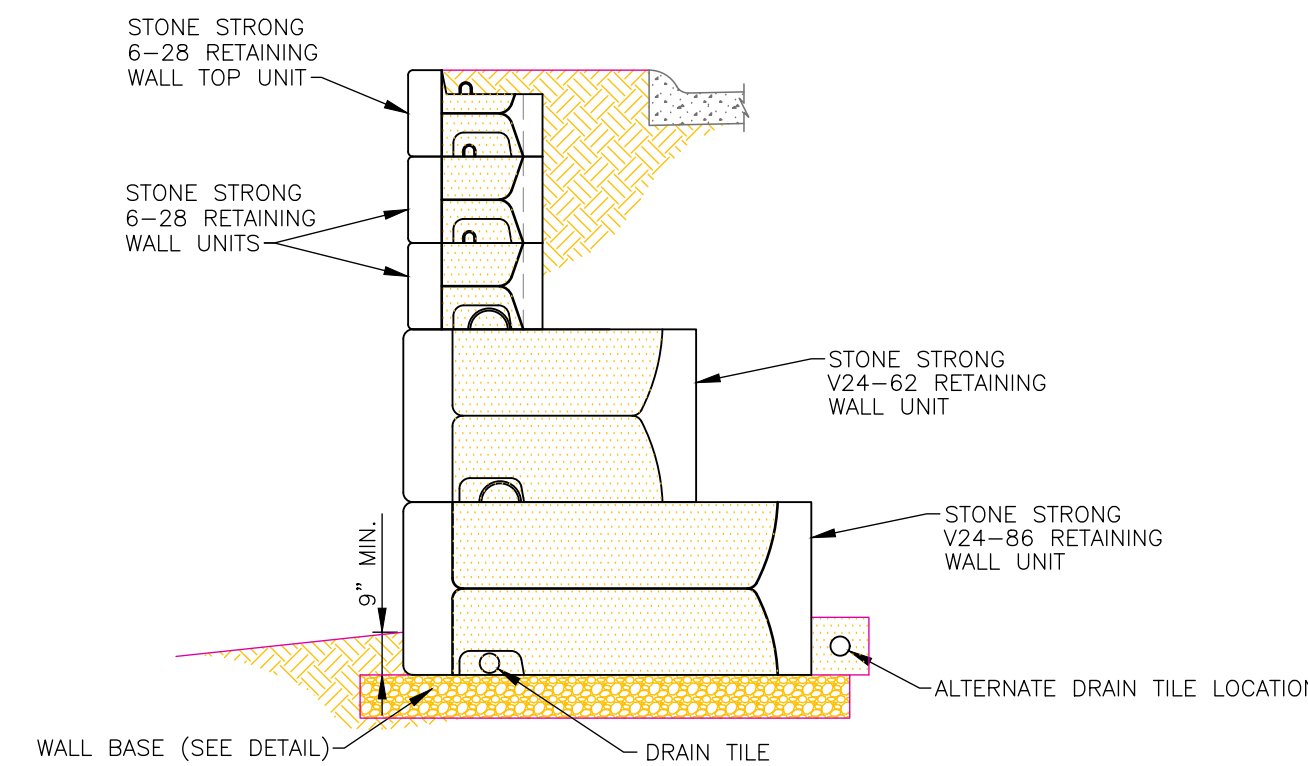
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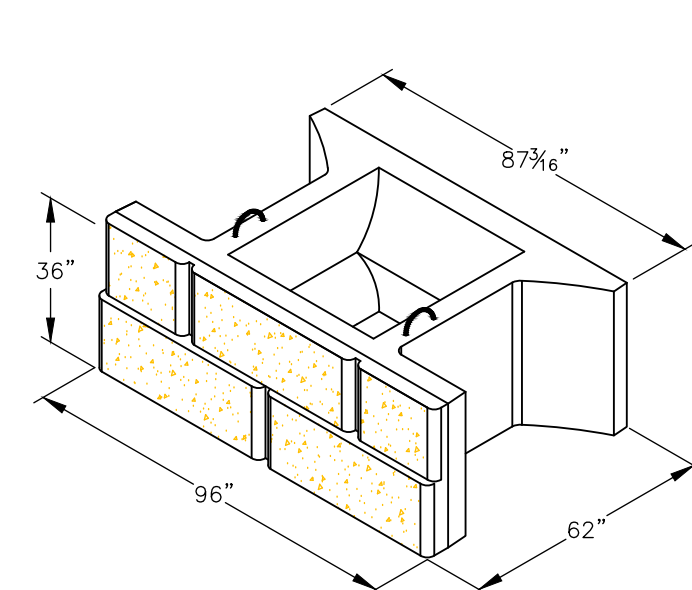
23-0182B **5.3**



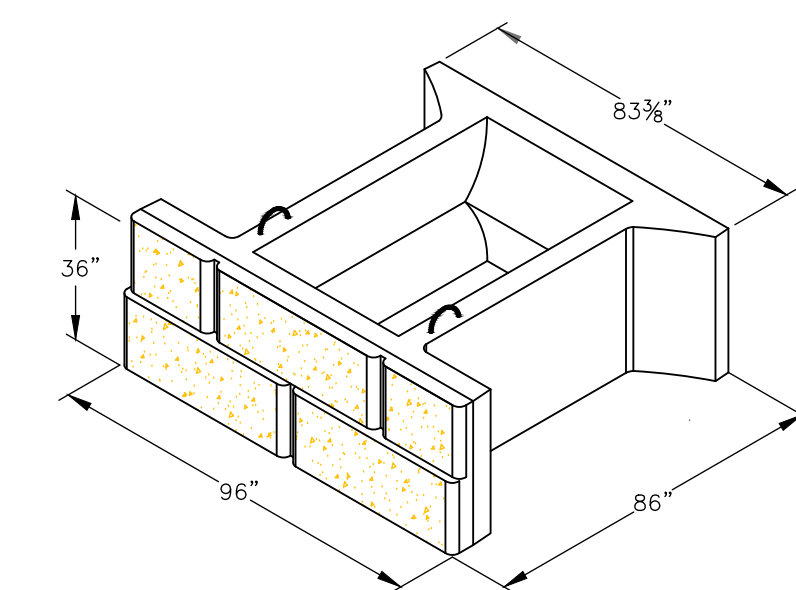
WOOD GUARD RAIL
N.T.S.



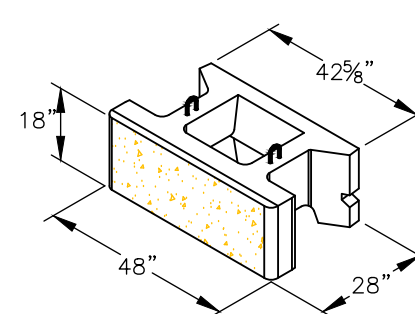
VERTICAL FACE GRAVITY WALL
CROSS SECTION w/EXTENDED BASE UNITS
NOT TO SCALE



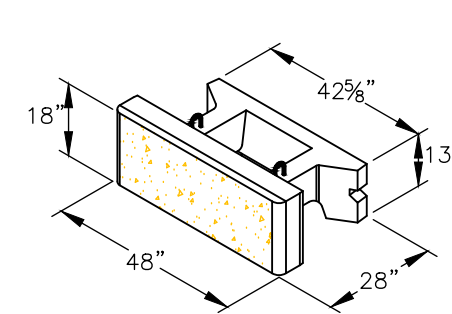
STONE STRONG 24-62 UNIT
NOT TO SCALE



STONE STRONG 24-86 UNIT
NOT TO SCALE



STONE STRONG 6-28 UNIT
NOT TO SCALE



STONE STRONG 6-28 TOP UNIT
NOT TO SCALE

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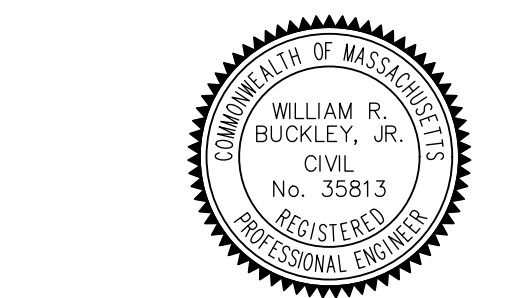
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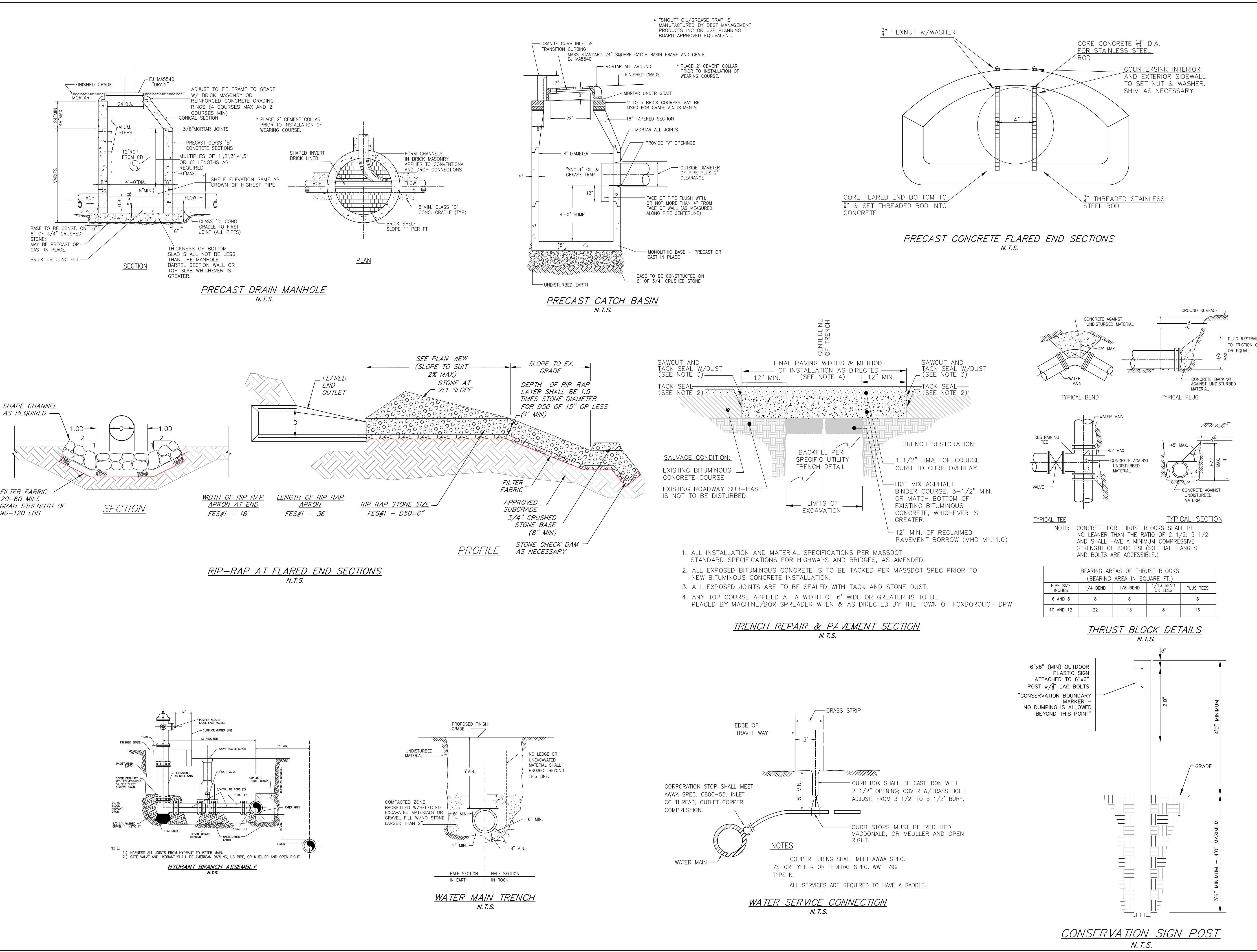
STAMP



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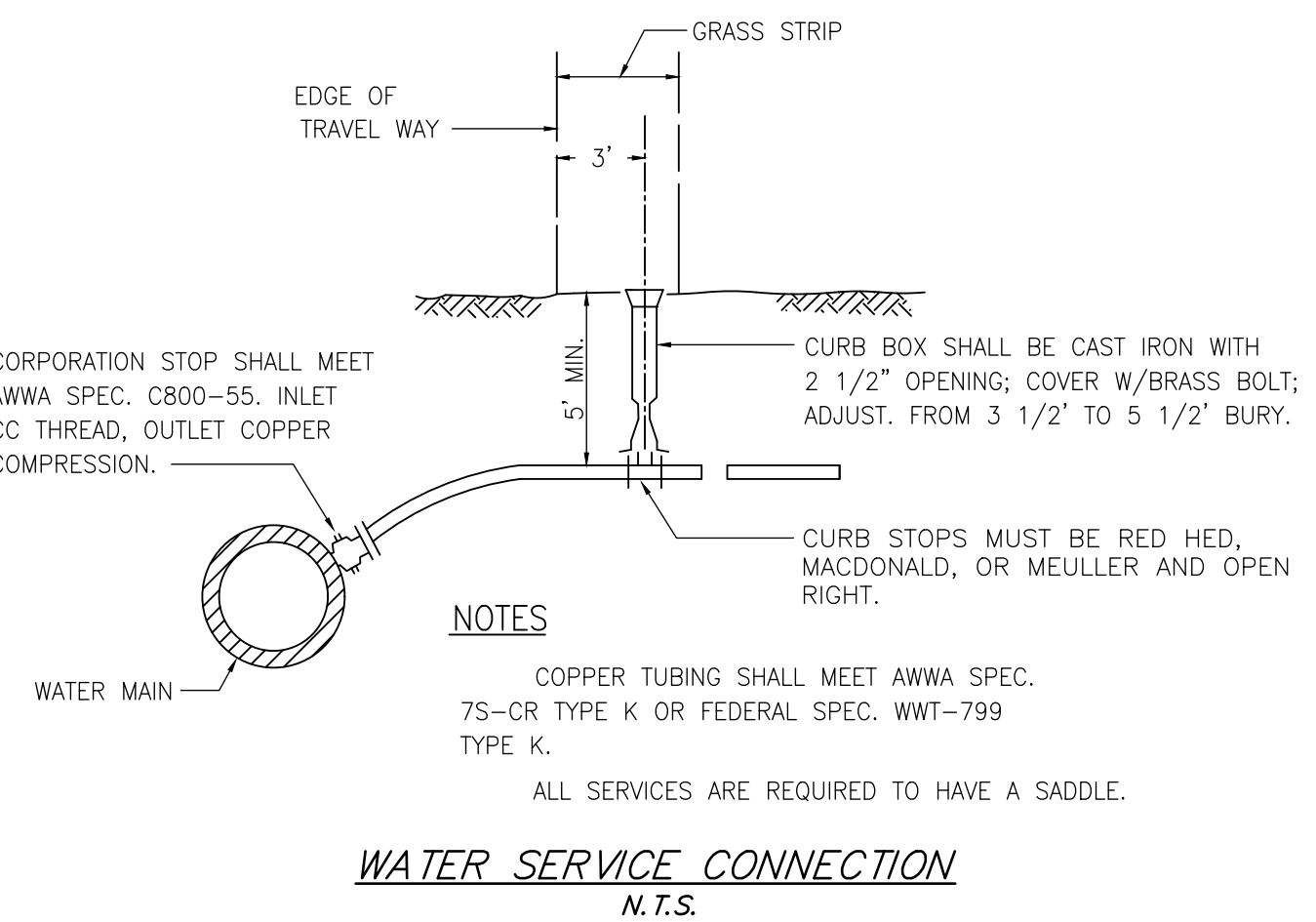
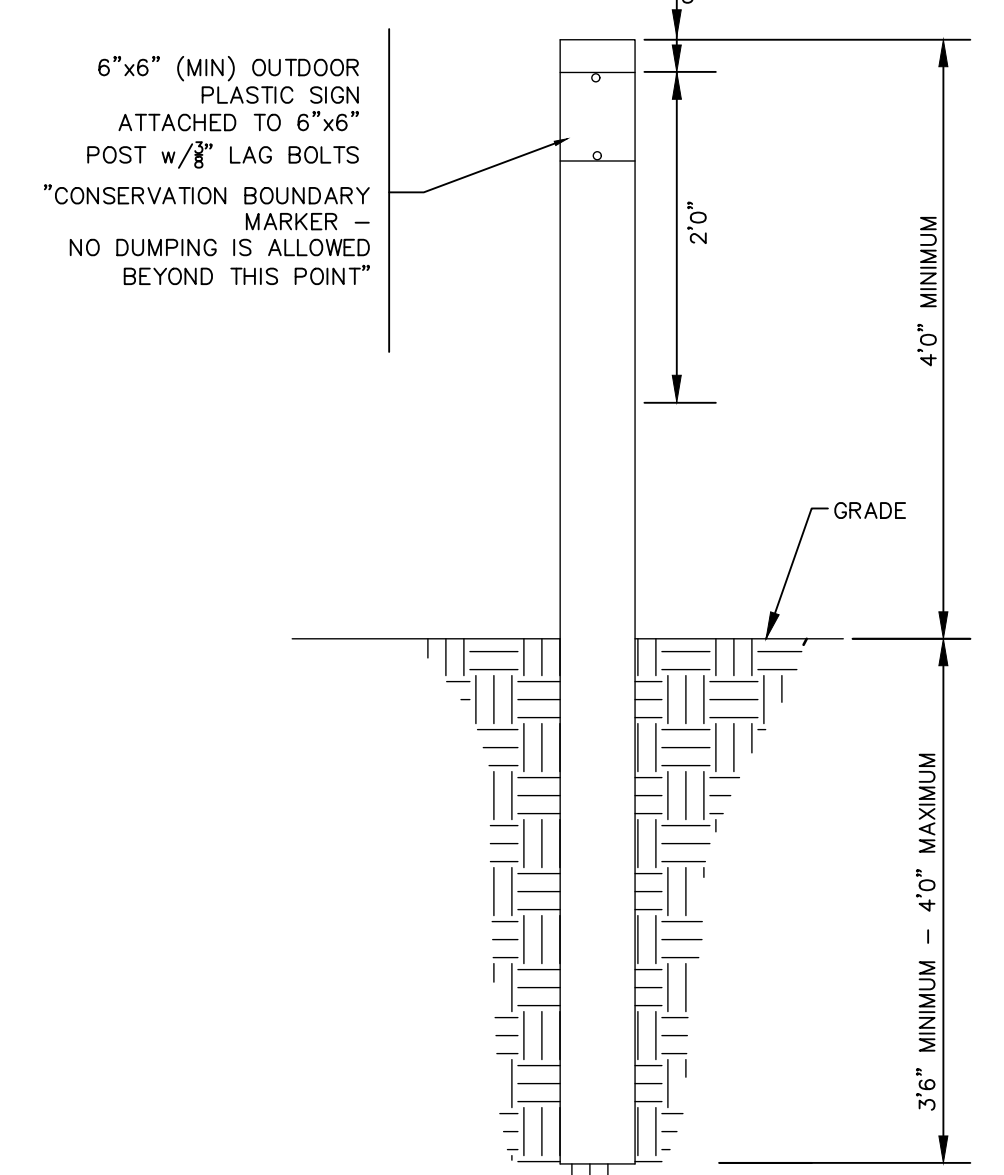
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BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)

PIPE SIZE INCHES	1/4 BEND	1/8 BEND OR LESS	1/16 BEND OR LESS	PLUS TEES
6 AND 8	8	8	-	8
10 AND 12	22	13	8	16

- ALL INSTALLATION AND MATERIAL SPECIFICATIONS PER MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, AS AMENDED.
- ALL EXPOSED BITUMINOUS CONCRETE IS TO BE TACKED PER MASSDOT SPEC PRIOR TO NEW BITUMINOUS CONCRETE INSTALLATION.
- ALL EXPOSED JOINTS ARE TO BE SEALED WITH TACK AND STONE DUST.
- ANY TOP COURSE APPLIED AT A WIDTH OF 6' WIDE OR GREATER IS TO BE PLACED BY MACHINE/BOX SPREADER WHEN & AS DIRECTED BY THE TOWN OF FOXBOROUGH DPW



- NOTES
- HARNES ALL JOINTS FROM HYDRANT TO WATER MAIN.
 - GATE VALVE AND HYDRANT SHALL BE AMERICAN DAWLING, US PIPE, OR MOELLER AND OPEN RIGHT.

MITIGATION NOTES

- APPROXIMATELY 1,039 SQUARE FEET OF ISOLATED VEGETATED WETLAND WILL BE PERMANENTLY ALTERED IN THIS PROJECT. APPROXIMATELY 2,122 SQUARE FEET SHALL BE REPLICATED IN AN ADJACENT ON-SITE AREA. THIS PROJECT WILL PROVIDE A REPLACEMENT RATIO OF APPROXIMATELY 2:1. THIS PLAN ALSO INCLUDES NATIVE PLANTINGS ON THE UPLAND SIDE SLOPE, AND APPROXIMATELY 3,370 SQUARE FEET OF RIVERFRONT AREA RESTORATION PLANTINGS ALONG DISTURBED SLOPES.
- THE CONTRACTOR SHALL STAKE OUT THE FOLLOWING AREAS AS INDICATED ON THE WETLAND REPLICATION PLAN:
 - EROSION CONTROL/LIMIT OF WORK
 - REPLICATION AREA
 - SIDE SLOPE RESTORATION AREA
 - RIVERFRONT RESTORATION AREA
- EROSION CONTROLS SHALL BE INSTALLED IN ACCORDANCE TO THE CONTRACT PLANS AND DOCUMENTS. SEE EROSION AND SEDIMENT CONTROL NOTES.
- VEGETATION WITH THE REPLICATION AREA SHALL BE REMOVED. EXISTING TREES ALONG THE LOWER PORTION OF SLOPE MAY BE SELECTED TO REMAIN ON HUMMOCKS IF APPROPRIATE. SELECT INORGANIC MATERIALS SUCH AS ROCKS AND BOULDERS AND SELECT TREES AND LOGS MAY BE STOCKPILED FOR USE IN THE REPLICATION AREA TO PROVIDE WILDLIFE HABITAT AND PROTECTIVE BARRIER.
- EXCAVATE TO APPROPRIATE SUBGRADES APPROXIMATELY 12 INCHES BELOW ELEVATION OF ADJOINING WETLAND EDGE. MATERIAL SHALL BE SPREAD TO CREATE A MOUND AND POOL TOPOGRAPHY FOR THE FINAL GRADE.
- A WETLAND SPECIALIST SHALL CONFIRM THE ELEVATIONS OF THE REPLICATION AREA PRIOR TO PLACEMENT OF ORGANIC TOPSOIL.
- ORGANIC TOPSOIL SHALL BE IMPORTED IN A SUFFICIENT VOLUME TO COVER THE REPLICATION AREA TO AN AVERAGE DEPTH OF 12 INCHES. TOPSOIL SHALL CONSIST OF A 50/50 MIX OF LOAM AND ORGANIC MATERIAL.
- THE REPLICATION AREA SHALL BE PLANTED WITH INDIGENOUS PLANTS SPECIFIED IN THE PLANTING TABLE. SAMPLINGS SHALL BE SPACED AS INDICATED. SHRUBS SHALL BE PLANTED IN CLUSTERS OF 3 TO MIMIC NATURAL CONDITIONS. PLANTS SHALL BE PLANTED AS DEPICTED ON THE REPLICATION PLAN TO MIMIC THE NATURAL SURROUNDINGS. FOLLOWING INSTALLATION OF THE PLANTINGS, NEW ENGLAND WETLAND SEED MIX SHALL BE ADDED TO PROVIDE HERBACEOUS COVER.
- INORGANIC MATERIALS AND SAVED TREES/LOGS SHALL BE SCATTERED THROUGHOUT THE REPLICATION AREA TO COVER APPROXIMATELY 20% OF THE SURFACE AREA.
- IMMEDIATELY FOLLOWING THE PLANTING OF THE REPLICATION AREA, A SECOND ROW OF EROSION CONTROLS SHALL BE INSTALLED BETWEEN THE NEW REPLICATION AREA AND THE UPLAND AREA AS INDICATED ON THE WETLAND REPLICATION PLAN, THIS SHEET.
- THE REPLICATION AREA SHALL BE VEGETATIVELY STABILIZED BY AT LEAST 75% WITHIN TWO GROWING SEASONS. EROSION CONTROL BETWEEN THE EXISTING WETLAND AND THE CREATED WETLAND SHALL BE REMOVED ONCE THE 75% STABILIZATION RATE HAS OCCURRED AND HAS BEEN VERIFIED BY THE CONSERVATION COMMISSION.
- REPLICATION AREA SIDE SLOPE AND RIVERFRONT RESTORATION AREA SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING TABLES AND SEEDED WITH NATIVE SEED MIX.

ISOLATED WETLAND IMPACT CALCULATIONS

IMPACT	RESTORATION
1,039± SF	2,122± SF

RIVERFRONT AREA TABLE (EXISTING CONDITIONS)

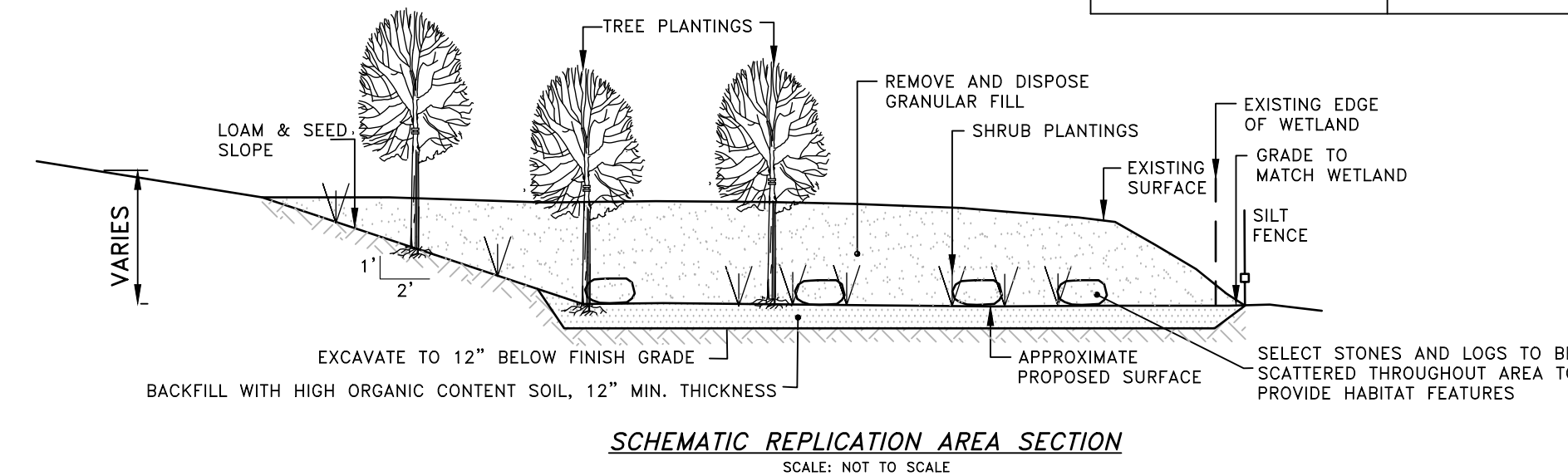
DESCRIPTION	AREA
TOTAL RIVERFRONT AREA	138,984± SF
DEGRADED RIVERFRONT- GRAVEL ROAD	2,826± SF

RIVERFRONT AREA TABLE (PROPOSED CONDITIONS)

DESCRIPTION	AREA
TOTAL RIVERFRONT AREA	138,984± SF
REPLICATION AREA	2,790± SF
STORM WATER BASIN	12,307± SF
DEGRADED RIVERFRONT- ROADWAY	8,846± SF
DEGRADED RIVERFRONT- FUTURE LOTS 2 & 4	5,052± SF MAX

COMPENSATORY STORAGE CALCULATIONS

ELEVATION	FILLING	COMPENSATION
170'-171'	436± CF	1,075± CF
171'-172'	1,315± CF	2,375± CF
172'-173'	1,980± CF	3,840± CF
173'-174'	2,370± CF	3,900± CF



PLANTING TABLES

WETLAND REPLICATION AREA

SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY	SPACING	STRATUM
	YELLOW BIRCH	BETULA ALLEGHANIENSIS	3' MIN.	10	10-12' o.c.	TREE
	RED MAPLE	ACER RUBRUM	3' MIN.	11		TREE
	SPICEBUSH	LINDERA BENZOIN	1-3'	39		SHRUB
	SILKY DOGWOOD	CORNUS AMOMUM	1-3'	39	CLUSTERS OF THREE 6-8' o.c.	SHRUB
	HIGHBUSH BLUEBERRY	VACCINIUM CORYMBOSUM	1-3'	45		SHRUB
	NATIVE WETLAND SEED MIX*	----	1,250 SF/LB	2 LB (2,122 SF)	THROUGHOUT	HERBACEOUS

REPLICATION AREA SIDE SLOPE

SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY	SPACING	STRATUM
	RED MAPLE	ACER RUBRUM	3' MIN.	6	12-15' o.c.	TREE
	WHITE OAK	QUERCUS ALBA	3' MIN.	5		TREE
	STAGHORN SUMAC	RHUS TYPHINA	1-3'	8		SHRUB
	RED RASPBERRY	RUBUS IDAEUS	1-3'	10	8-10' o.c.	SHRUB
	NATIVE EROSION CONTROL SEED MIX**	----	1,750 SF/LB	1 LB (1,198 SF)	THROUGHOUT	HERBACEOUS

RIVERFRONT AREA RESTORATION

SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY	SPACING	STRATUM
	RED MAPLE	ACER RUBRUM	3' MIN.	10	12-15' o.c.	TREE
	WHITE OAK	QUERCUS ALBA	3' MIN.	10		TREE
	RED CEDAR	JUNIPERUS VIRGINIANA	3' MIN.	11		TREE
	STAGHORN SUMAC	RHUS TYPHINA	1-3'	23	8-10' o.c.	SHRUB
	RED RASPBERRY	RUBUS IDAEUS	1-3'	24		SHRUB
	NATIVE CONSERVATION SEED MIX**	----	1,750 SF/LB	2 LB (3,350 SF)	THROUGHOUT	HERBACEOUS

*NEW ENGLAND WETLAND PLANTS "WETMIX" OR APPROVED EQUIVALENT
 **NEW ENGLAND WETLAND PLANTS EROSION CONTROL/RESTORATION MIX FOR DRY SITES OR APPROVED EQUIVALENT
 ***NEW ENGLAND WETLAND PLANTS CONSERVATION/WILDLIFE MIX OR APPROVED EQUIVALENT



PROJECT:

*Pine Air Estates
 Foxborough
 Massachusetts*

OWNERS:

*Scott M. & Elaine D.
 Barbato
 204 East Street
 Foxborough, MA 02035*

*Paul A. Barbato
 192 East Street
 Foxborough, MA 02035*

APPLICANT:

*Pine Air, LLC
 364 Hickory Road
 North Attleboro, MA 02760*



FOUR SCHOOL STREET
 P.O. BOX 9136
 FOXBOROUGH, MA 02035
 508-543-3939

NOTICE TO CONTRACTOR:

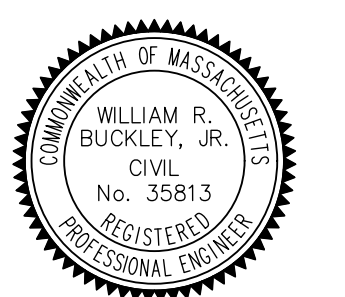
- ALL CONTRACTORS SHALL CONTACT THE PLANNING BOARD 508-543-1250 PRIOR TO THE INITIATION OF ANY CONSTRUCTION.
- A STREET OPENING PERMIT MUST BE OBTAINED FROM THE FOXBOROUGH HIGHWAY DEPARTMENT PRIOR TO ANY WORK OCCURRING IN OR ON ANY STREET (AFTER ACCEPTED OR NOT) AFTER THE TOP COURSE OF PAVEMENT IS INSTALLED.

DATE APPROVED: _____
 DATE ENDORSED: _____
 FOXBOROUGH PLANNING BOARD

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE _____ FOXBOROUGH TOWN CLERK

STAMP



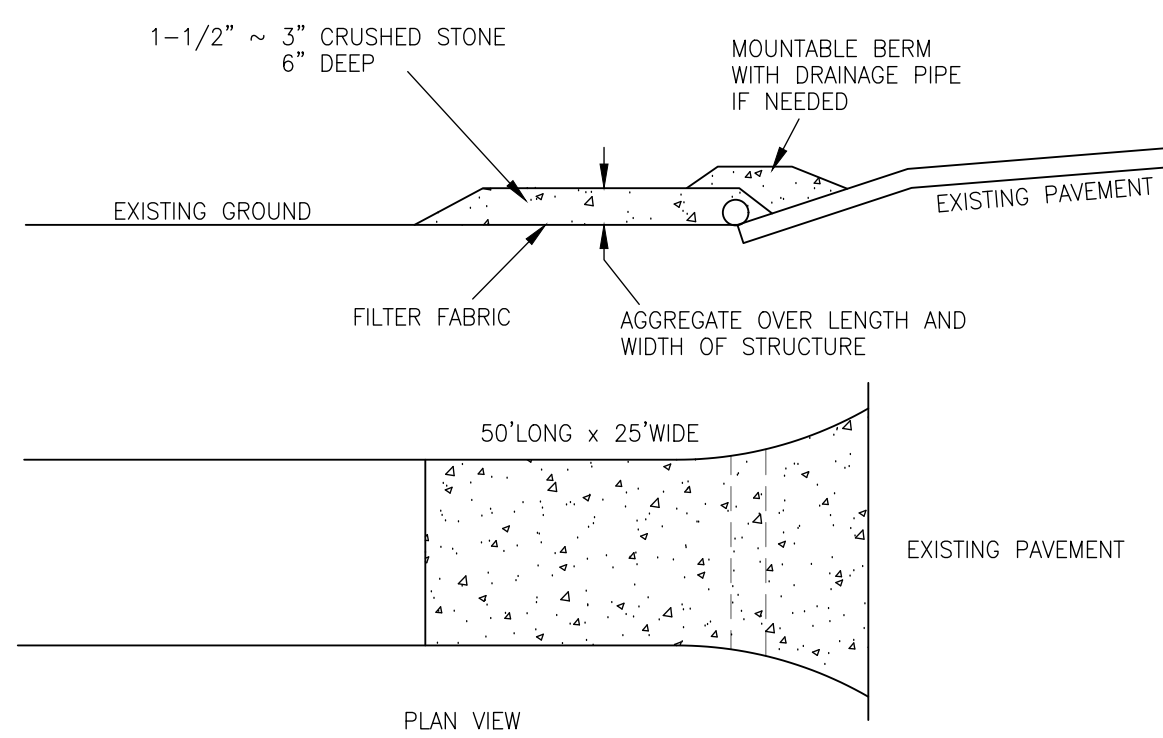
DRAWING TITLE

Mitigation
 Plan

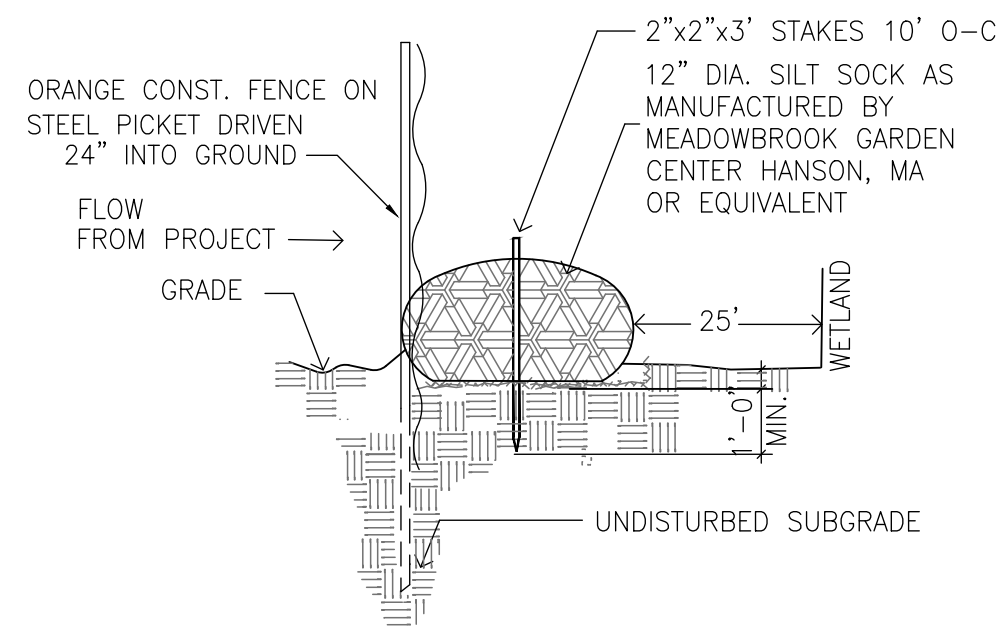
SCALE: AS NOTED

FEBRUARY 1, 2024 SHEET NUMBER

23-0182B **5.5**

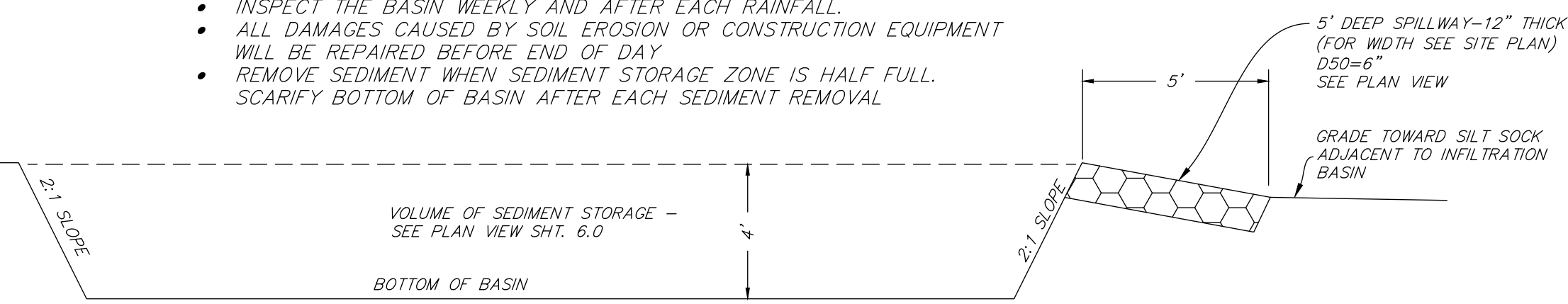


STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

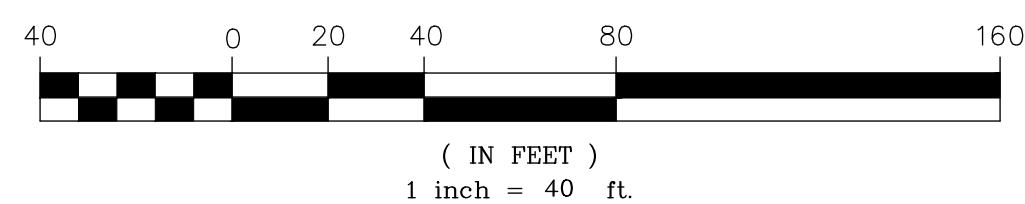


SILT SOCK EROSION CONTROL
N.T.S.

- CONSTRUCT BASIN BY EXCAVATING BASIN BEFORE ANY GRADING WORK BEGINS.
- THE BASIN AREA MUST BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION.
- IF NECESSARY, FILL MATERIAL MUST BE CLEAN, LOW PERMEABILITY, MINERAL FREE SOIL FREE OF 3" OR LARGER ROCKS AND OTHER NON-SOIL MATERIAL.
- SCARIFY BOTTOM OF BASIN TO A DEPTH OF 12"
- SEED BASIN SIDEWALLS IMMEDIATELY AFTER CONSTRUCTION.
- INSPECT THE BASIN WEEKLY AND AFTER EACH RAINFALL.
- ALL DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION EQUIPMENT WILL BE REPAIRED BEFORE END OF DAY.
- REMOVE SEDIMENT WHEN SEDIMENT STORAGE ZONE IS HALF FULL. SCARIFY BOTTOM OF BASIN AFTER EACH SEDIMENT REMOVAL.



TEMPORARY SEDIMENT BASIN DETAIL
N.T.S.



PROJECT PHASING

PHASE 1:
EST. START DATE: _____
EST. FINISH DATE: _____

CLEARING OF ROADWAY LAYOUT AND STORM WATER BASIN, INSTALLATION OF EROSION CONTROLS, GRUBBING OF ROADWAY AND STORM WATER BASIN.

PHASE 2:
EST. START DATE: _____
EST. FINISH DATE: _____

IMPORT AND PLACEMENT OF MATERIAL TO BRING ROADWAY TO SUBGRADE. CONSTRUCTION OF STORM WATER BASIN. INSTALLATION OF DRAINAGE AND WATER MAINS WITHIN ROADWAY LAYOUT.

PHASE 3:
EST. START DATE: _____
EST. FINISH DATE: _____

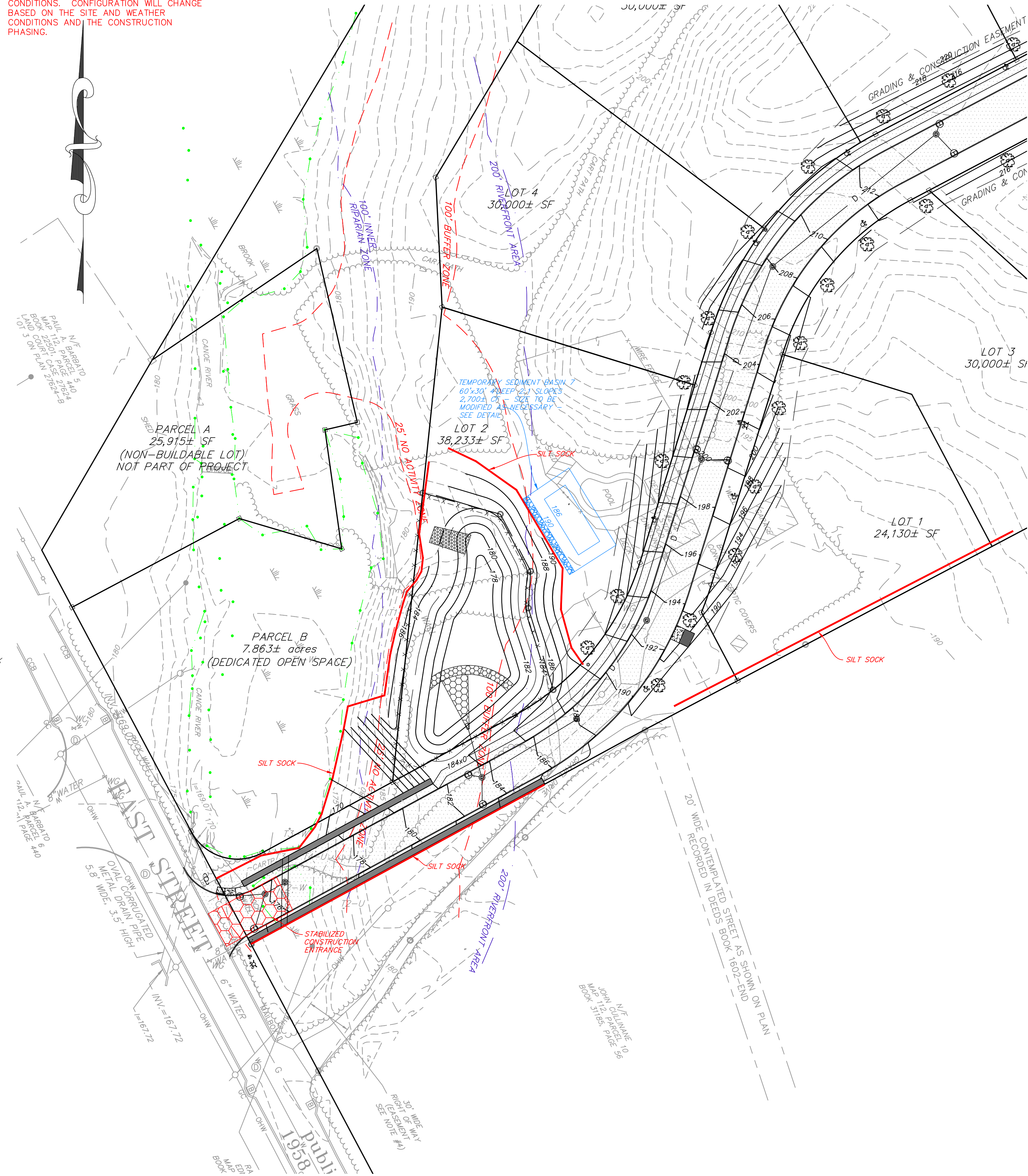
INSTALLATION OF BASE COURSE OF ROADWAY. START CONSTRUCTION OF INDIVIDUAL HOMES w/EROSION CONTROLS AS NECESSARY.

PHASE 4:
EST. START DATE: _____
EST. FINISH DATE: _____

COMPLETE CONSTRUCTION OF HOMES. INSTALL SIDEWALKS AND FINISHED COURSE OF PAVEMENT. COMPLETE LANDSCAPING OF DISTURBED AREAS. REMOVE EROSION CONTROLS.

RESTORATION PLAN TO BE COMPLETED IN FIRST PHASE OF HOMES IN ACCORDANCE WITH TIMELINE IN ORDER OF CONDITIONS

SILT SOCK
LOCATION OF SILT SOCK IS FOR INITIAL CONDITIONS. CONFIGURATION WILL CHANGE BASED ON THE SITE AND WEATHER CONDITIONS AND THE CONSTRUCTION PHASING.



PROJECT:

**Pine Air Estates
Foxborough
Massachusetts**

OWNERS:

**Scott M. & Elaine D.
Barbato
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**Paul A. Barbato
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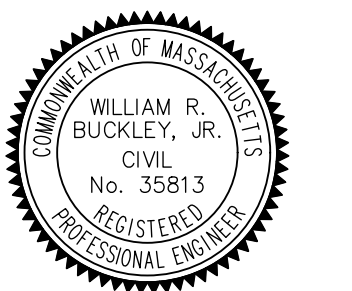
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DATE _____ FOXBOROUGH TOWN CLERK

STAMP



DRAWING TITLE

Stormwater
Pollution
Prevention
Plan

SCALE: 1" = 40'

FEBRUARY 1, 2024 SHEET NUMBER

23-0182B **6.1**